

Dangberg Ranch Exterior Restoration

Douglas County Community Services
1594 Esmeralda Avenue
Minden, Nevada 89423



Bid Documents
5/18/2022

**Paul Cavin
Architect LLC**

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project
Dangberg Ranch
Exterior Restoration
1594 Esmeralda Avenue
Minden, Nevada 89423

revisions

drawn by RBR
reviewed by MLM
date 5/18/2022
project number 19028
drawing name

Cover Sheet

sheet number
A000

General Notes

- The General Notes and all other notes herein apply to all work described in the Contract Documents.
- The Contract Documents consist of the Agreement between the Owner and Contractor, the Conditions of the Contract (General, Supplementary, Invitation to Bid, and other Conditions), Drawings, Project Manual, Specifications, and Addenda issued prior to execution, and all modifications issued after execution of the Contract.
- The Work includes the completed or partially completed construction required by the Contract Documents and includes all labor, materials, equipment, and services necessary to produce the Work.
- The Contract Documents are complementary, the intent is to include all items and materials necessary for the proper execution and completion of the Work by the Contractor.
- The Contractor shall carefully study and compare the Contract Documents and shall at once report to the Architect any error, inconsistency, or omission that is discovered. The Contractor shall not perform any portion of the work at any time without Contract Documents.
- The Contractor is required to visit the site as part of the pre-bid site visit to compare the Drawings and Specification and become familiar with any work in place and be informed of all conditions including the Work being performed. Failure to visit the site will in no way relieve the Contractor from necessity of furnishing any materials or performing any Work in accordance with the Contract Documents that may be required to complete the Work without additional cost to the Owner. The Contractor shall report inconsistencies in the drawings and at the site to the Owner and Architect during the bid period.
- Drawings are not to be scaled for information or disassembled for convenience.
- In the event certain features of the Work are not fully shown in the Contract Documents, then the construction shall be of the same character as for similar conditions that are shown or called for and shall be reviewed by the Architect prior to execution.
- All work shall be performed within strict conformance to the minimum standards of the current edition of the International Building Code (IBC) and all applicable national, state, and local laws, regulations, and ordinances. No exceptions.
- The Contractor shall comply with notices given and required by lawful orders of public authorities applicable to the performance of the Work.
- The Contractor shall coordinate locations of any and all items, including but not limited to: existing conditions, civil, landscape, structural, mechanical, plumbing, electrical, lighting, data, voice, and audio/visual; including, but not limited to all structure, equipment, ductwork, piping, and conduit. Coordinate all required clearances for installation and maintenance of the above items.
- The Contractor shall supervise and direct the Work, using the best skill and attention necessary, and shall be solely responsible for all construction means, methods, techniques, sequences, procedures, and for coordination of all portions of the Work described in the Contract Documents.
- The Contractor shall be responsible for the acts and omissions of the Contractor's employees, sub-contractors, suppliers, vendors, and their agents and employees, and other persons or entities performing any portion of the Work under a Contract with the Contractor.
- The Contractor shall perform the Work in a continuous and diligent manner to ensure Substantial Completion of the Project within the Contract Time.
- The Contractor shall be responsible for the location and protection of all existing items and materials, all new construction items and materials, adjacent circulation paths (pedestrian and vehicular), and other improvements during the course of construction.
- Unless noted otherwise in the Contract Documents, the Contractor shall provide and pay for all labor, materials, equipment, tools, machinery, water, heating, utilities, transportation, and other facilities and services necessary for the proper execution and completion of the Work.
- Where conflicts are encountered within the Contract Documents that will affect the quality or extent of the work, such conflict shall be resolved to the satisfaction of the Owner and Architect before the affected items and materials are purchased, fabricated, or installed.
- Where conflicts occur at the Project site, coordinate the necessary layouts and exact locations of all elements of work in conflicting areas with the Architect in the field before proceeding with the Work.
- Where pre-manufactured items and materials are to be installed, the Contractor shall verify all necessary dimensions in the field prior to the purchase and/or fabrication of the items and materials.
- The Contractor warrants that materials and equipment furnished under the Contract will be of good quality and new unless identified otherwise in the Contract Documents.
- The Contractor shall guarantee and warranty all work and materials to the project to be free from defects for a minimum of one year from the date of substantial completion and promptly remedy such defects and any subsequent damage caused by the defects or repair thereof at no expense to the Owner. Guarantee and warranty periods of greater than one year may be required elsewhere in the Contract Documents.
- Where any item or material is indicated in the Contract Documents, and not necessarily detailed in each specific case, but are required for a complete and professional installation, such item or material shall be provided as if shown and detailed in full. Contractor to provide all necessary labor, materials, means, and methods to furnish and install.
- The Contractor shall employ a competent Project Manager, Superintendent, and necessary personnel for the Work. The Superintendent shall be in attendance at the Project site during execution of the Work. No exceptions.
- The Contractor shall not employ (for the Project at hand) a proposed project manager and/or superintendent, to whom the Owner and/or Architect have made a reasonable and timely objection. The Contractor shall not change the Project Manager or Superintendent without the Owner's consent.
- The Contractor shall be responsible for initiating, maintaining, and supervising all safety programs and precautions of the Project and Project site during the course of construction, all Work performed shall conform to applicable safety regulations.
- The Contractor and/or Sub-Contractor shall promptly remedy damage to the Owner's property caused by the Contractor and/or Sub-Contractor to existing conditions and/or new construction.
- The Contractor at all times shall keep the premises free from accumulation of waste materials or rubbish caused by work operations. At the completion of the Work the Contractor shall remove all waste materials and rubbish associated with the Work as well as all tools, construction equipment, machinery, and surplus materials.
- The Contractor shall provide the Owner and Architect access to the Project site and Work wherever located. The Contractor shall provide the necessary safety equipment to the Owner, Architect, Engineer, or other design personnel visiting the site. Safety equipment shall include, but not be limited to: Hard hat, safety vest, safety glasses, and hearing protection.
- Existing conditions including material sizes, configurations, and locations as shown in the Contract Documents may not be an exact illustration of existing conditions. The Contractor shall include in his bid the cost of furnishing, installing, modifying, existing and new materials required for a complete and professional installation that may be required by minor variation between existing conditions and actual conditions.
- The Contractor shall promptly correct Work rejected by the Architect that fails to conform to the requirements of the Contract Documents, whether discovered before or after Substantial Completion.
- Shop drawings, submittals, product data, and samples are not a part of the Contract Documents. The Architect and design team will review such materials, but only for conformance with the design concept of the Work and with the information given in the Contract Documents. The Contractor shall not be relieved of responsibility for any deviation from the requirements of the Contract Documents by the Architect's or Engineer's review of shop drawings, submittals, product data, or samples.
- The Architect has the authority to order minor changes in the Work not involving adjustment to the Contract Sum or extension of the Contract Time. Such orders shall not be inconsistent with the intent of the Contract Documents. Such minor changes will be issued in written format, signed by the Architect.
- The General Contractor, General Contractor's project manager, and General Contractor's superintendent shall be familiar with and follow the guidelines and procedures set forth in the Secretary of the Interior's Standards for the Treatment of Historic Properties and the Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings. This document will be used for setting the standards and procedures for all work related to this project.

Project Team

Owner	Managing Agency
Dangberg Home Ranch 1450 NV-88 Minden, Nevada 89423 Phone: Contact: Mark Jensen e-mail: curator@dangberghomeranch.org	Douglas County Community Services 1594 Esmeralda Avenue Minden, Nevada 89423 Phone: (775) 782-9829 Contact: Scott McCullough e-mail: smccullough@douglasnv.us

Architecture

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Contact: Paul Cavin, AIA
email: paul@paulcavinedesign.com
Contact: Mike Maddox
e-mail: mike@paulcavinedesign.com

Alternate Schedule

- Alternate Number 1:
Alternate Number 1 shall consist of prep/staining of existing roofing shingles of the Stone Cellar, Laundry House, Carriage House, Bunk House and the Kennel as shown on the drawings.
- Alternate Number 2:
Alternate Number 2 shall consist of exterior cleaning, building repairs and prep/painting of the Laundry House as shown on the drawings.
- Alternate Number 3:
Alternate Number 3 shall consist of exterior cleaning, building repairs and prep/painting of the Bunk House as shown on the drawings.
- Alternate Number 4:
Alternate Number 4 shall consist of exterior cleaning building repairs and prep/painting of the Stone House as shown on the drawings.
- Alternate Number 5:
Alternate Number 5 shall consist of exterior cleaning, building repairs and prep/painting of Carriage House and Garage as shown on the drawings.
- Alternate Number 6:
Alternate Number 6 shall consist of exterior cleaning, building repairs and prep/painting of the Kennel as shown on the drawings.

Sheet Index

A000 Cover Sheet
G100 General Information and Project Data

ARCHITECTURAL

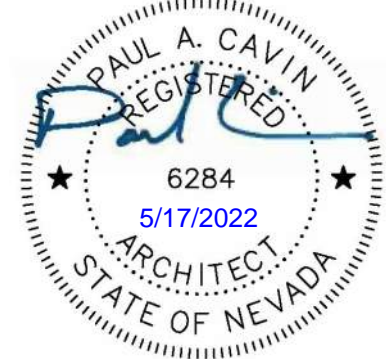
A100 Site Plan
A101.1 Main House Floor Plan
A101.2 Main House Exterior Elevation
A101.3 Main House Exterior Elevation
A101.4 Main House Exterior Elevation
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Project Data

Address : 1450 Highway 88
P.O. Box 1158
Minden Nevada 89423

Abbreviations

@	At	In	Inches
#	Pound or Number	ID	Inside Diameter
(E)	Existing		
AC	Asphaltic Concrete	Lav	Lavatory
ACT	Acoustical Ceiling Tile	Lbs	Pounds
AFF	Above Finished Floor	LED	Light Emitting Diode
Alum	Aluminum	LF	Linear Feet (foot)
AV	Audio Visual	Max	Maximum
CF/CI	Contractor Furnished / Contractor Installed	Mfrs	Manufacturer's
CF/OI	Contractor Furnished / Owner Installed	Min	Minimum
CJ	Control Joint	Misc	Miscellaneous
CL	Center Line	MO	Masonry Opening
CMU	Concrete Masonry Unit	NIC	Not in Contract
Conc	Concrete	No	Number
Cont	Continuous	OC	On Center
CPT	Carpet	OD	Outside Diameter
CT	Ceramic Tile	OF/CI	Owner Furnished / Contractor Installed
CTV	Cable Television	OF/OI	Owner Furnished / Owner Installed
Deg	Degree	R	Radius
Demo	Demolition	RCP	Reflected Ceiling Plan
DF	Drinking fountain	Rev	Revision
Dia	Diameter	RO	Rough Opening
Dim	Dimension	RWL	Rain Water Leader
DF	Drinking Fountain		
Ea	Each	T	Tempered
EJ	Expansion Joint	TO	Top of
EWC	Electric Water Cooler	Typ	Typical
FD	Floor Drain	UNO	Unless Noted Otherwise
FDC	Fire Department Connection		
FE	Fire Extinguisher		
FEC	Fire Extinguisher Cabinet		
FF&E	Furniture, Fixtures and Equipment		
FRP	Fiber Reinforced Polyester		
Ft	Feet or Foot		
Ga	Gage		
Galv	Galvanized		
Gyp bd	Gypsum Board	VCT	Vinyl Composition Tile
HB	Hose Bib	VIF	Verify in Field
HC	Hollow Core	WC	Water Closet
HM	Hollow Metal	WD	Wood
HW	Hot Water	WH	Water Heater

Symbols

	North Arrow
	Detail Indicator
	Detail Indicator
	Detail Indicator
	Detail Indicator
	Building Section Indicator
	Wall Section Indicator
	Exterior Elevation Indicators
	Interior Elevation Indicators
	Grid Line
	Room Tag
	Door Tag
	Window Tag
	Wall or Partition Type
	Accessory Tag
	Elevation Mark

Dangberg Ranch



Minden Vicinity Map



project

revisions

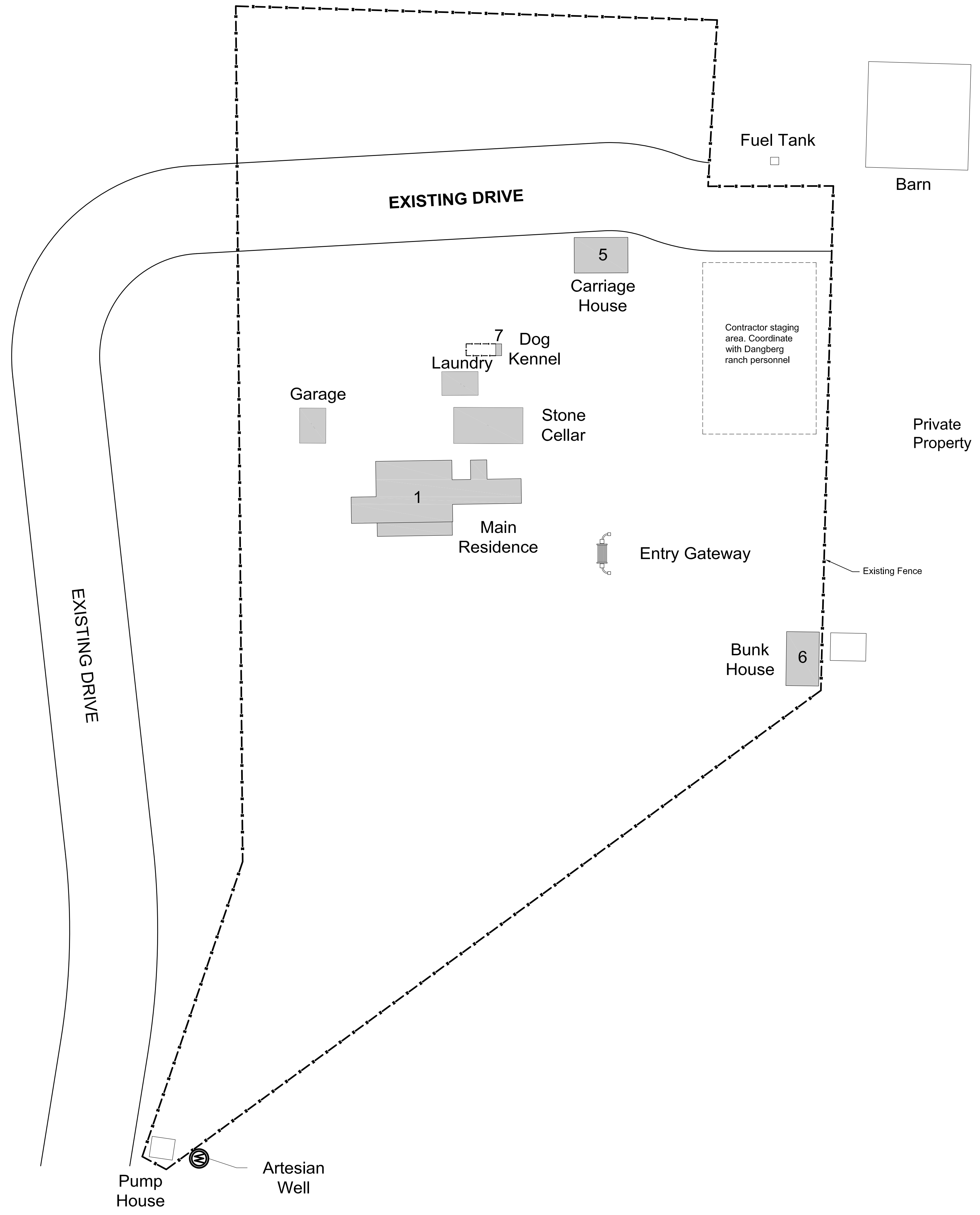
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General Information and Project Data

sheet number

G100



Site Plan Notes

1. The Overall Site Plan is for reference only and shows the existing conditions. Refer to plans, elevations and detail drawings for additional information. Report any discrepancies found between the drawings and field conditions to the Architect prior to execution of work.
2. Coordinate construction operations, schedule, and sequencing with Douglas County Community Services Project Manager and Dangberg Ranch Curator.
3. Refer to the Project Manual and other Drawings for additional information and requirements.
4. Contractor is responsible for safety and security of the Contractor parking and staging area. Temporary fencing is recommended for securing construction materials, vehicles, equipment, etc. at the staging area.
5. The Contractor parking and staging area must maintain a clear path for emergency vehicles to circulate around the building at all times.
6. At the conclusion of the project the Contractor shall clean the site area and restore to original appearance.
7. The general public will have access to the site and Dangberg Ranch exhibits during construction. It is the contractor's responsibility to secure each construction area and prevent conflicts with the general public.

Scope of Work for Each Structure

1. Main Residence:
Main Residence scope of work consists of exterior cleaning, miscellaneous building repairs, seal all open joints, prep and painting field/accent colors and staining the existing shingle roof.
2. Stone Cellar:
Stone Cellar scope of work consists of exterior cleaning, miscellaneous building repairs, seal all open joints, prep and painting field/accent colors and staining the existing shingle roof.
3. Laundry:
Laundry scope of work consists of exterior cleaning, miscellaneous building repairs, seal all open joints, prep and painting field/accent colors and staining the existing shingle roof.
4. Garage:
Garage scope of work consists of exterior cleaning, miscellaneous building repairs, seal all open joints, prep and painting field/accent colors, miscellaneous roof repairs and staining the existing shingle roof.
5. Carriage House:
Carriage House scope of work consists of exterior cleaning, miscellaneous building repairs, seal all open joints, prep and painting field/accent colors and staining the existing shingle roof.
6. Bunk House:
Bunk House scope of work consists of exterior cleaning, miscellaneous building repairs, seal all open joints, prep and painting field/accent colors and staining the existing shingle roof.
7. Dog Kennel:
Dog Kennel scope of work consists of exterior cleaning, miscellaneous building repairs, seal all open joints, prep and painting field/accent colors and staining the existing shingle roof.

Preservation Briefs

The following preservation briefs shall be used and followed for the execution of work at the Garage.

1. **Clearing and Water Repellent Treatments:**
Carefully follow recommended procedures in this brief in washing the building from the bottom up using clean water and soft bristle brushes once all repair and restoration work has been completed. Do not attempt to clean masonry during cold weather when subject to freezing and/or cold temperatures. The masonry and grout expand and contract significantly and results in damage to the material's integrity. Please refer to Preservation Brief #6 for the Dangers of abrasive cleaning.
9. **The Repair of Historic Wooden Windows:**
The contractor to verify presence of hazardous materials, mitigate as necessary, and dispose of waste appropriately. Contractor to insure windows are operating properly and repair as necessary for operation of windows, including removal of sash and replacing damaged wood components using traditional splicing techniques. Replace damage glazing panes to consistent with adjacent units. Make similar repairs to existing perimeter wood window frames, weather strip and seal with exterior grade sealant. Prep wood window components for prime and paint.
10. **Exterior Paint Problems on Historic Woodwork:**
The Contractor to use this brief as a guideline in preparing the exterior for re-painting and new painting. With historic finishes, use hand procedures in removing flaking surfaces compatible for receiving new paint.

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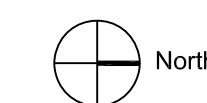
project number 19028

drawing name

Site Plan

sheet number

A100





A4 Main House - Exterior Photo Southwest Elevation
N. T. S.



A3 Main House - Exterior Photo South Elevation
N. T. S.



A2 Main House - Exterior Photo Southeast Elevation
N. T. S.



B4 Main House - Exterior Photo East Elevation
N. T. S.



B3 Main House - Exterior Photo Northeast Elevation
N. T. S.



B2 Main House - Exterior Photo North Elevation
N. T. S.

Floor Plan Notes

1. Coordinate construction operations, schedule, and sequencing with Douglas County Community Services Project Manager.
2. The Overall Floor Plan is for reference only and shows the existing conditions. Refer to elevations, and detail drawings for additional information. Report any discrepancies found between the drawings and field conditions to the Architect prior to execution of the work.
3. The Contractor will be responsible for setting the exact limits of construction required in order to perform the work.
4. The Contractor shall maintain a clean environment during all construction operations and activities, and shall conduct a final cleaning of entire area of work at the conclusion of the project.
5. The Contractor shall protect existing vegetation, finishes, and historical features from construction traffic, cutting, and all construction operations and activities.
6. The Contractor will be responsible for repairing any damage to the existing vegetation, finishes, and features due to construction activities related to the Exterior Renovation project.
7. Contractor shall limit work access to areas indicated during approved working hours and shall remove materials, tools, and debris after construction hours.
8. The General Contractor shall have previous experience working with historic fabric and working on buildings listed on the National Register of Historic Places.
9. The General Contractor, General Contractor's project manager, and General Contractor's superintendent shall be familiar with and follow the guidelines and procedures set forth in the Secretary of the Interior's Standards for the Treatment of Historic Properties and the Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings. This document will be used for setting the standards and procedures for all work related to this project.
10. Refer to Project Manual and Specifications for additional information and requirements.
11. See Specification Section 06 30000.01 epoxy repair for deterioration and decay in wooden members for repair work identified on the plans, elevations, photos, details, etc.
12. See roof plans for additional scope of work.

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no.	description

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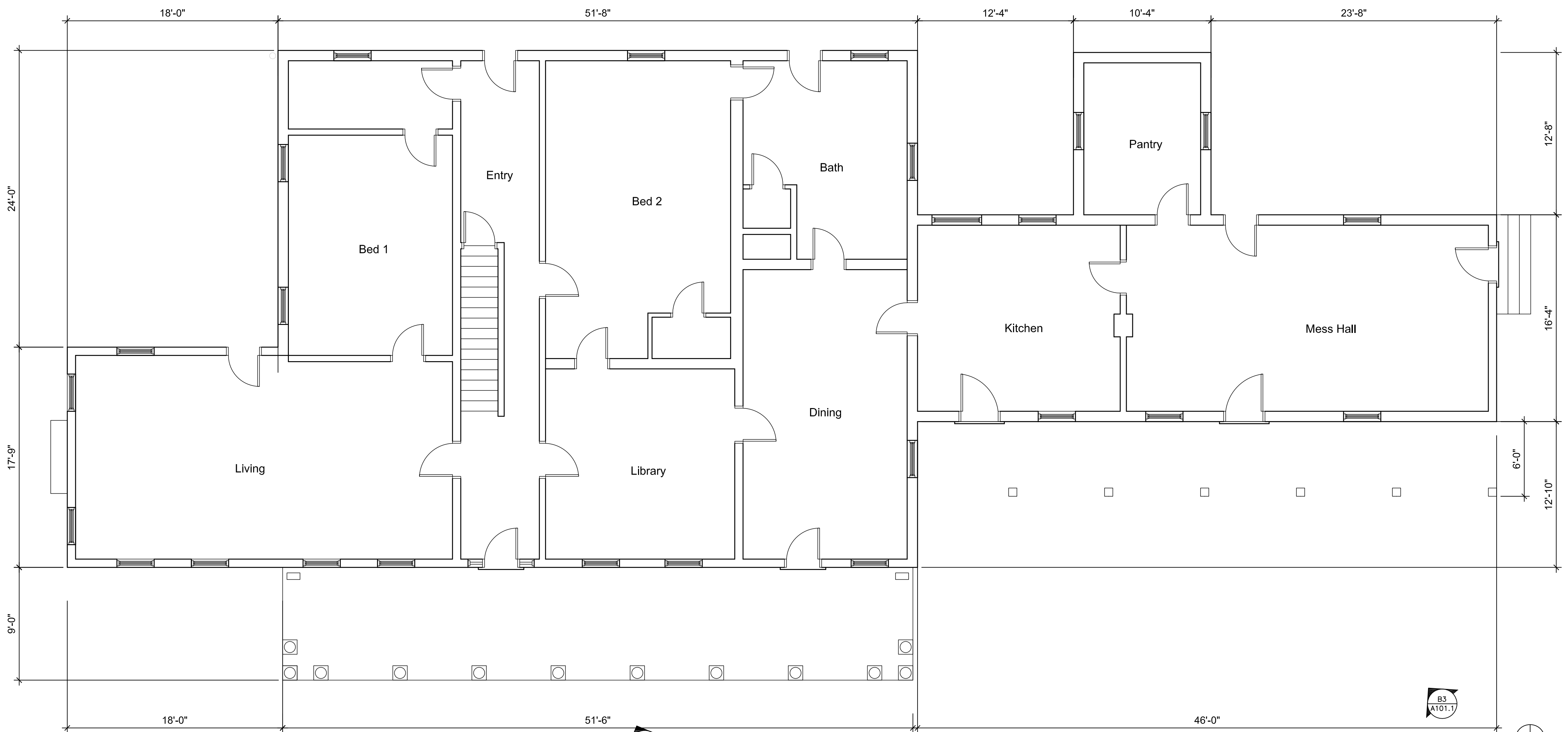
project number 19028

drawing name

**Main House
Floor Plan
Base Bid**

sheet number

A101.1



D5 Main House - Dimensioned Floor Plan - Base Bid
3/16" = 1'-0"

Exterior Elevation Notes

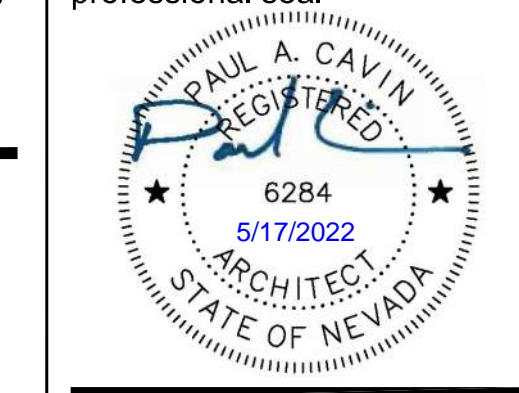
1. Refer to Project Manual and specifications for additional information and requirements.
2. See enlarged Exterior Elevations for additional information and requirements for each individual elevation.
3. See sheet A101.1 Dimensioned Floor Plan for plan dimensions related to exterior elevations.
4. All dimensions are approximate, Contractor to field verify all necessary dimensions.
5. Remove all vine growth at each building including, vine plants and vine roots. Restore location of vine removal at the ground to match adjacent landscaping. General Contractor and or sub-contractor to verify extent of vine growth by reviewing the site prior to submitting their bid.

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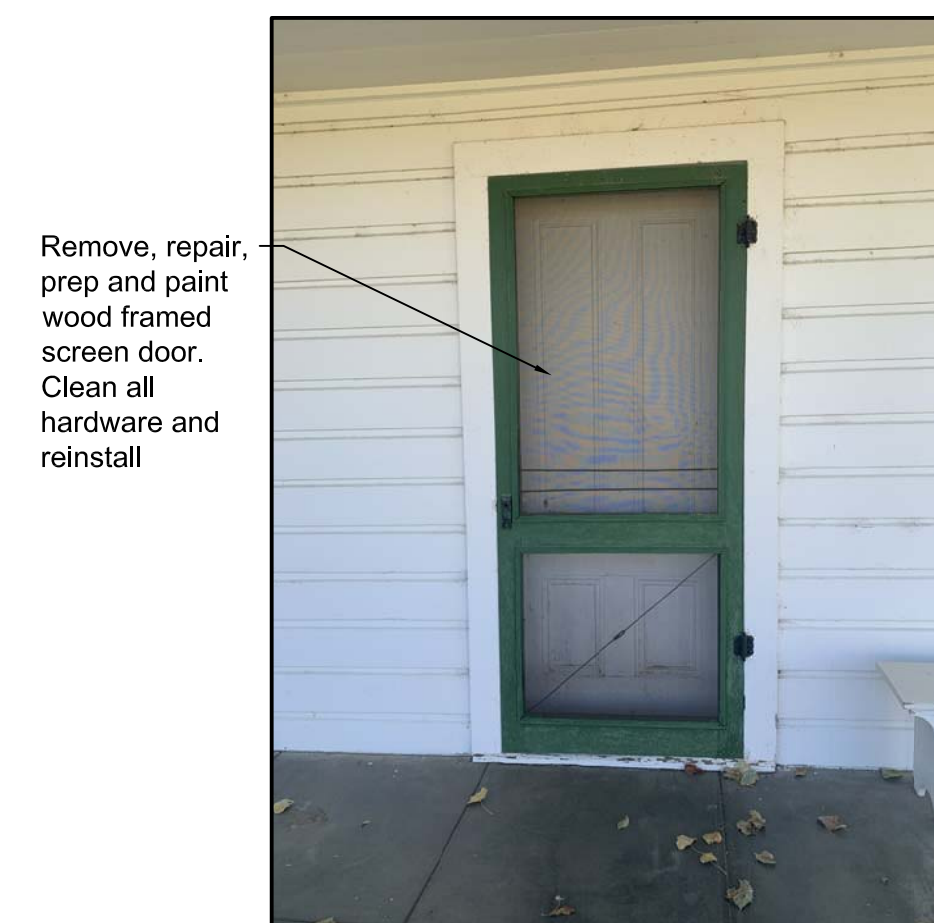
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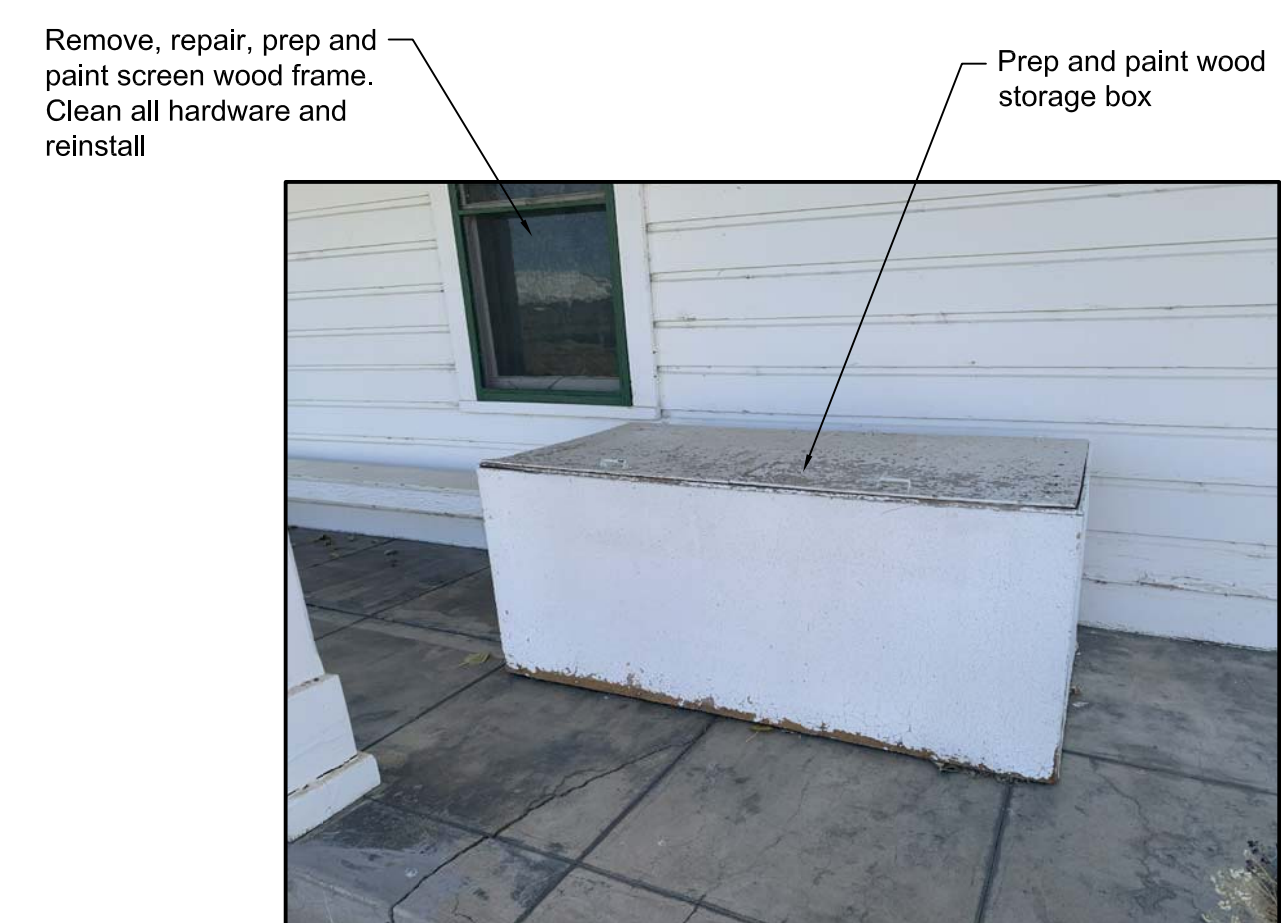
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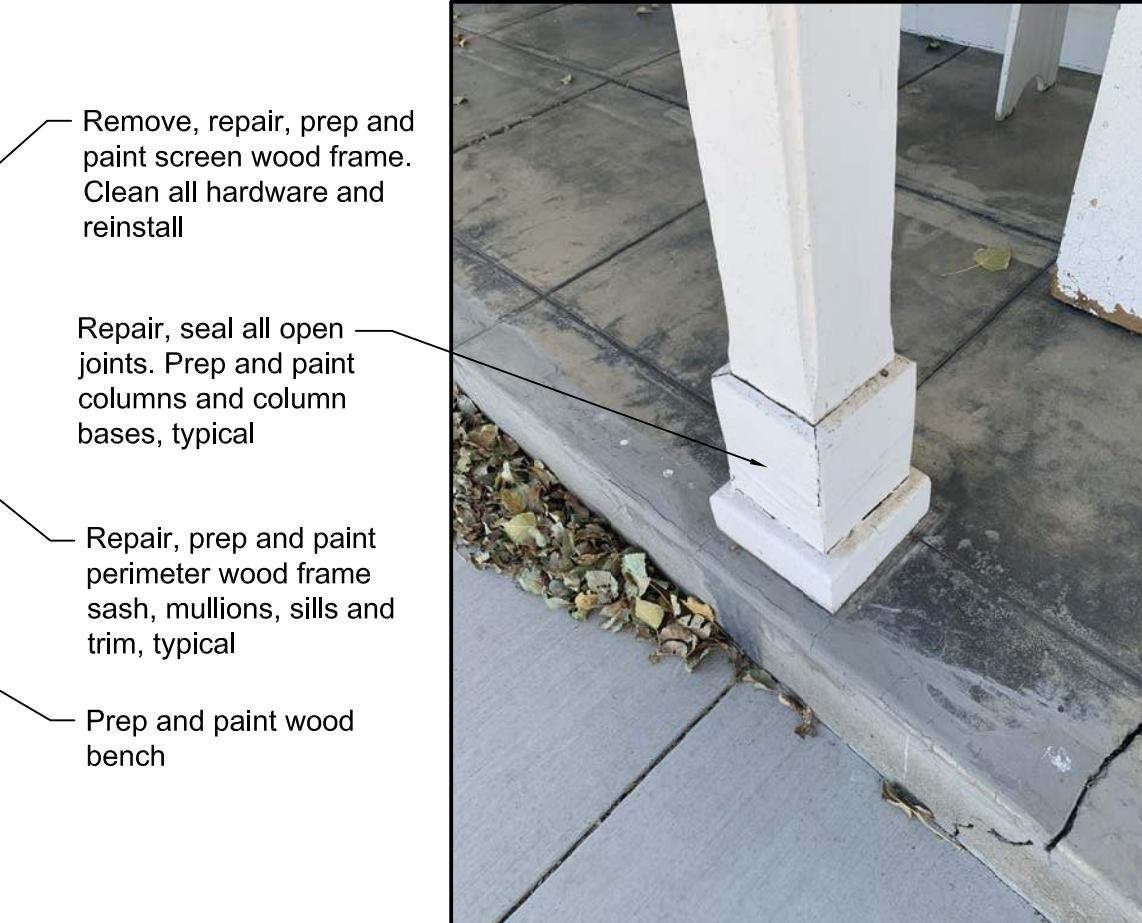
A5 Photo of Existing Condition
N.T.S.



A4 Photo of Existing Condition
N.T.S.



A3 Photo of Existing Condition
N.T.S.



A2 Photo of Existing Condition
N.T.S.



B5 Photo of Existing Condition
N.T.S.



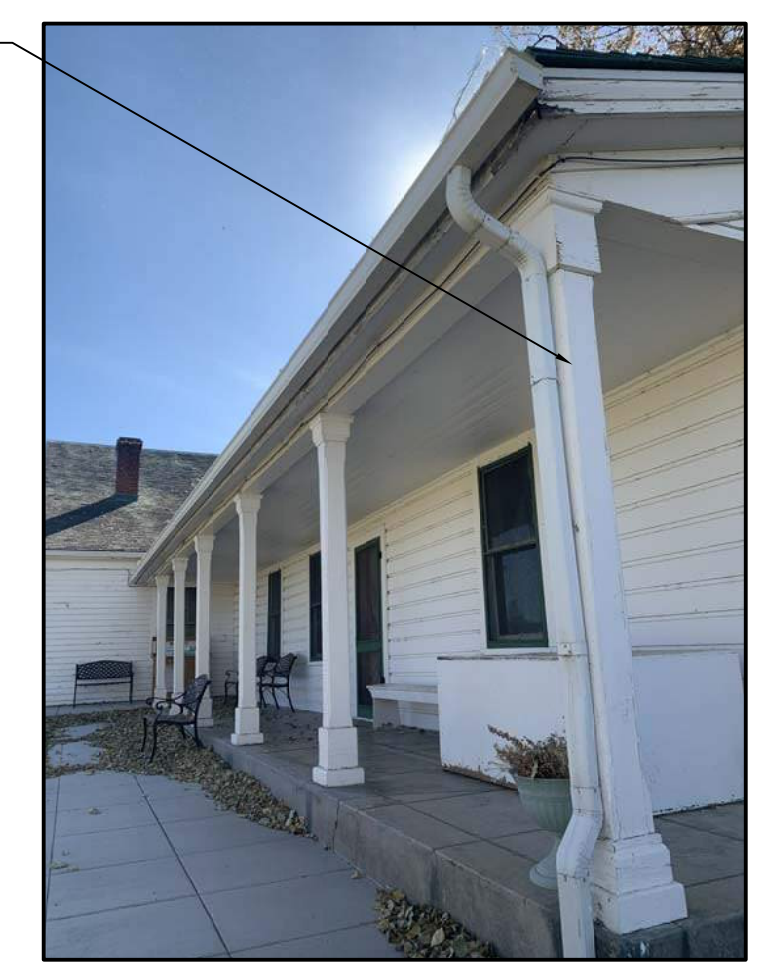
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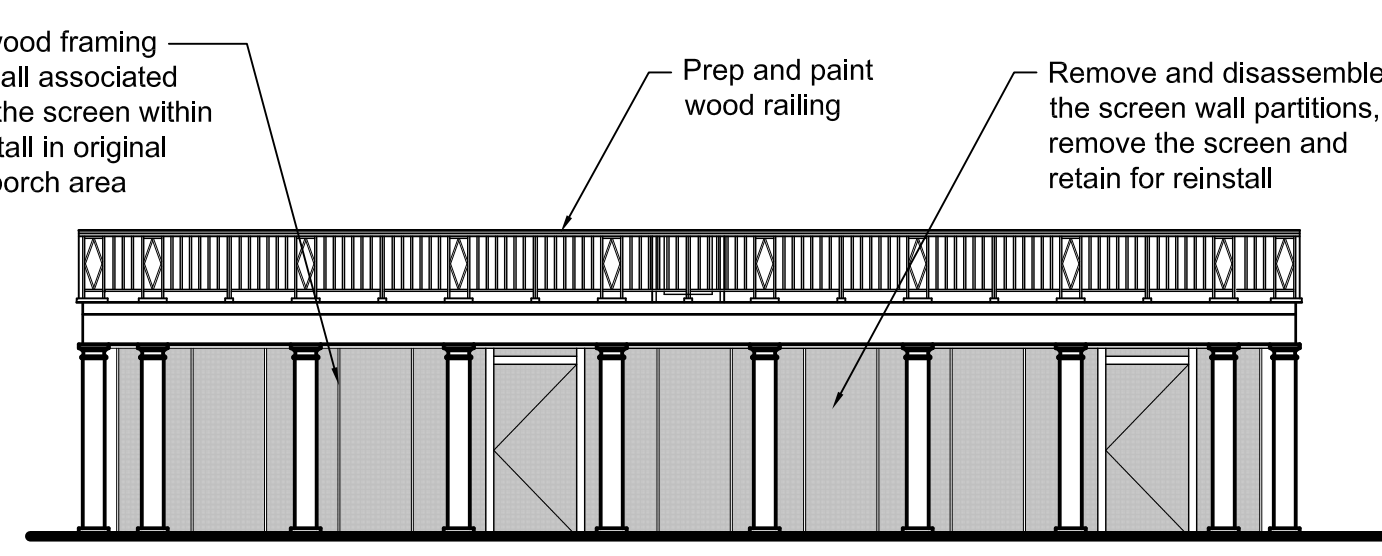
B3 Photo of Existing Condition
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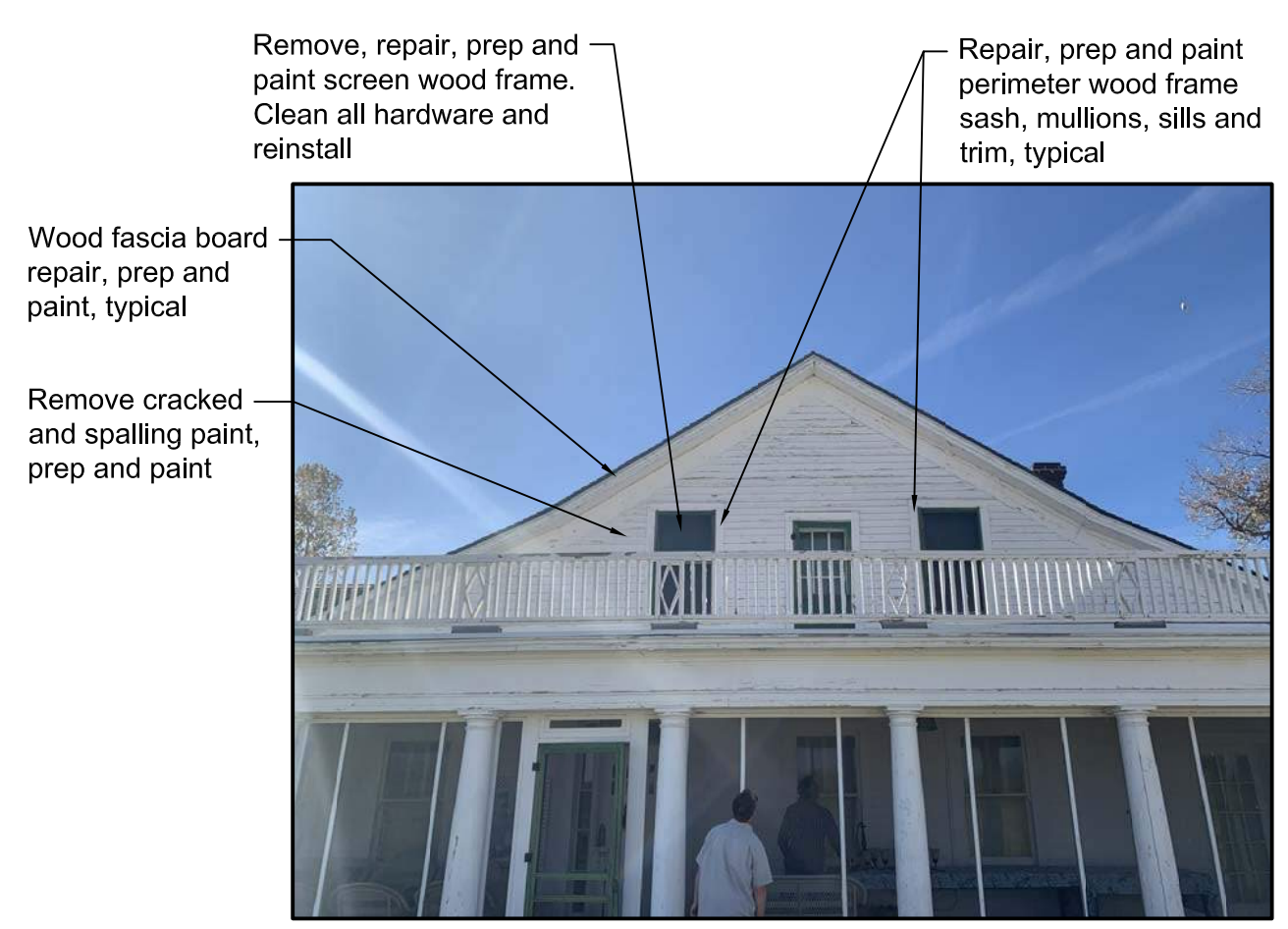
B2 Photo of Existing Condition
N.T.S.



B1 Photo of Existing Condition
N.T.S.



C5 Screen Porch and Railing Elevation
1/8" = 1'-0"



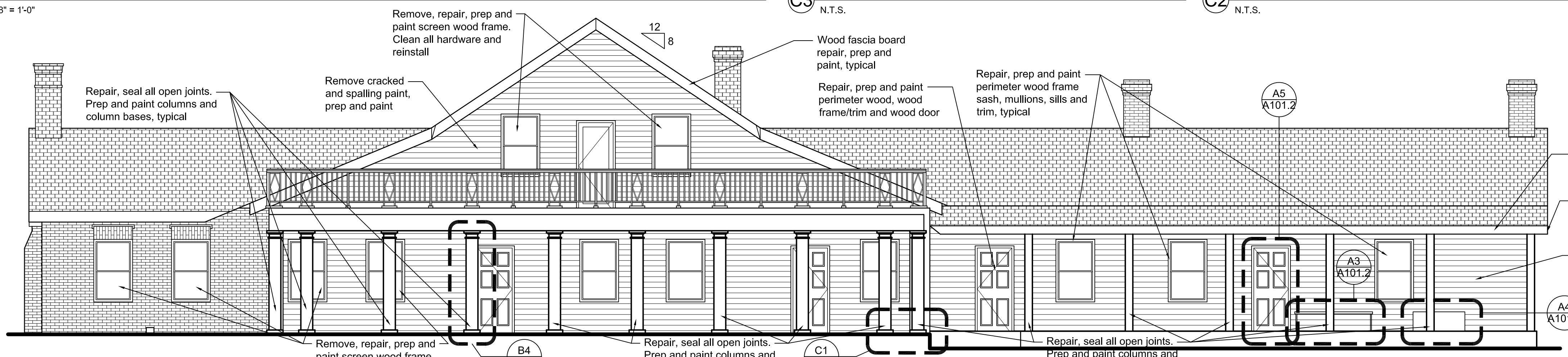
C3 Photo of Existing Condition
N.T.S.



C2 Photo of Existing Condition
N.T.S.



C1 Photo of Existing Condition
N.T.S.



D5 Main House - East Elevation - Base Bid
3/16" = 1'-0"

D1 Photo of Existing Condition
N.T.S.



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project number **19028**
drawing name

**Main House
Ext. Elevation
Base Bid**

sheet number

A101.2

Exterior Elevation Notes

1. Refer to Project Manual and specifications for additional information and requirements.
2. See enlarged Exterior Elevations for additional information and requirements for each individual elevation.
3. See sheet A101.1 Dimensioned Floor Plan for plan dimensions related to exterior elevations.
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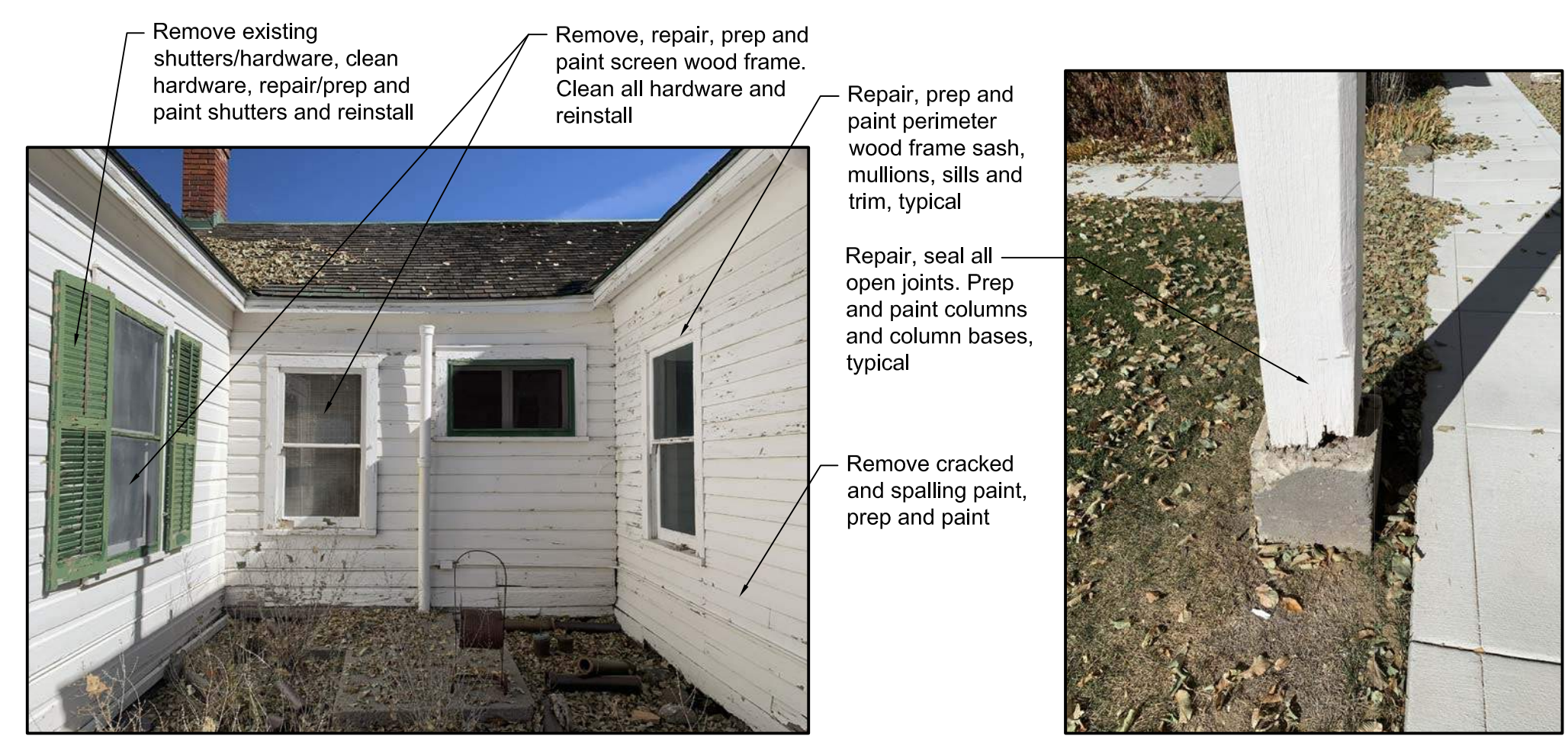
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**Main House
Ext. Elevation
Base Bid**

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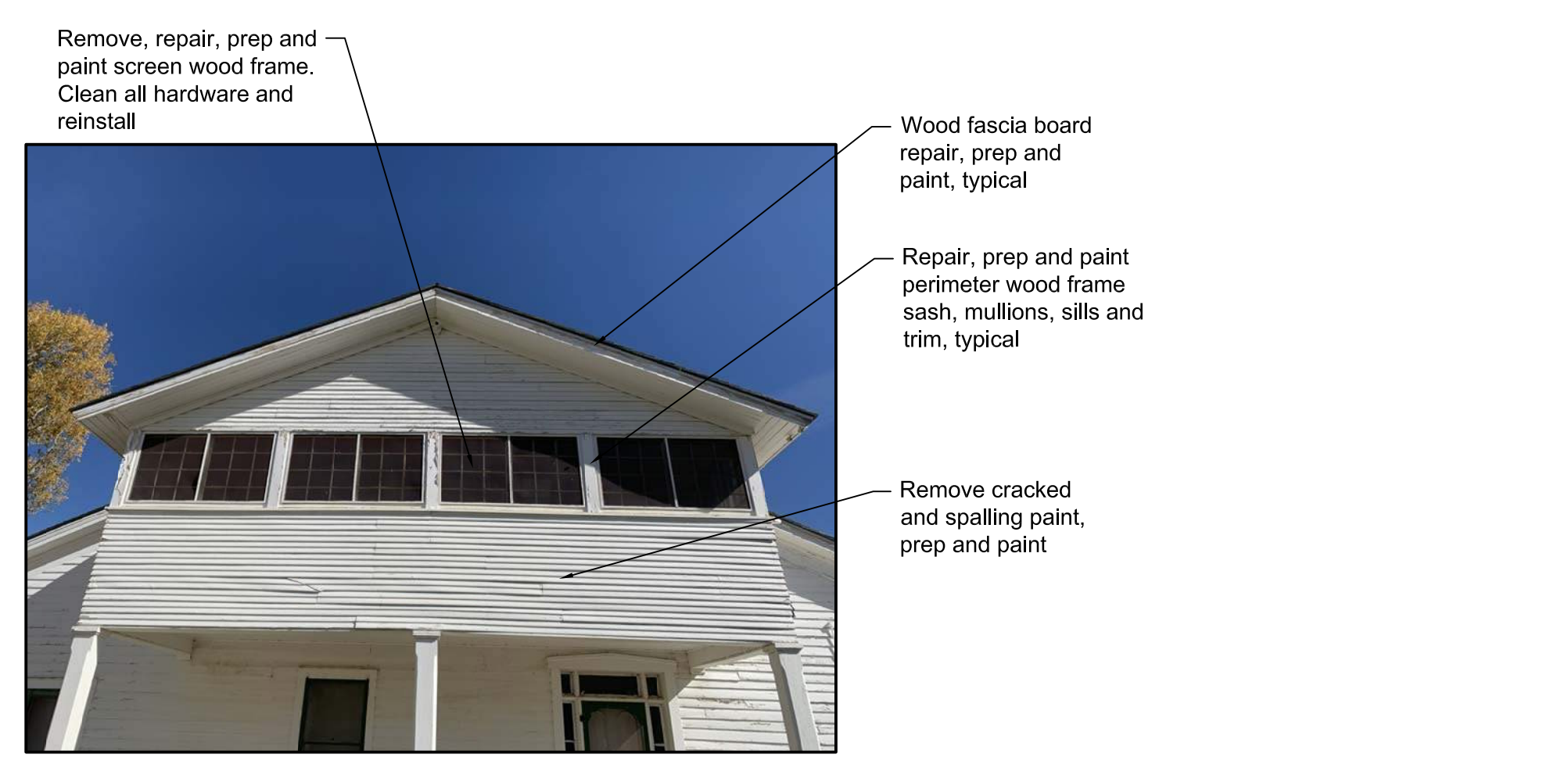
A101.3



A5 Photo of Existing Condition
N.T.S.



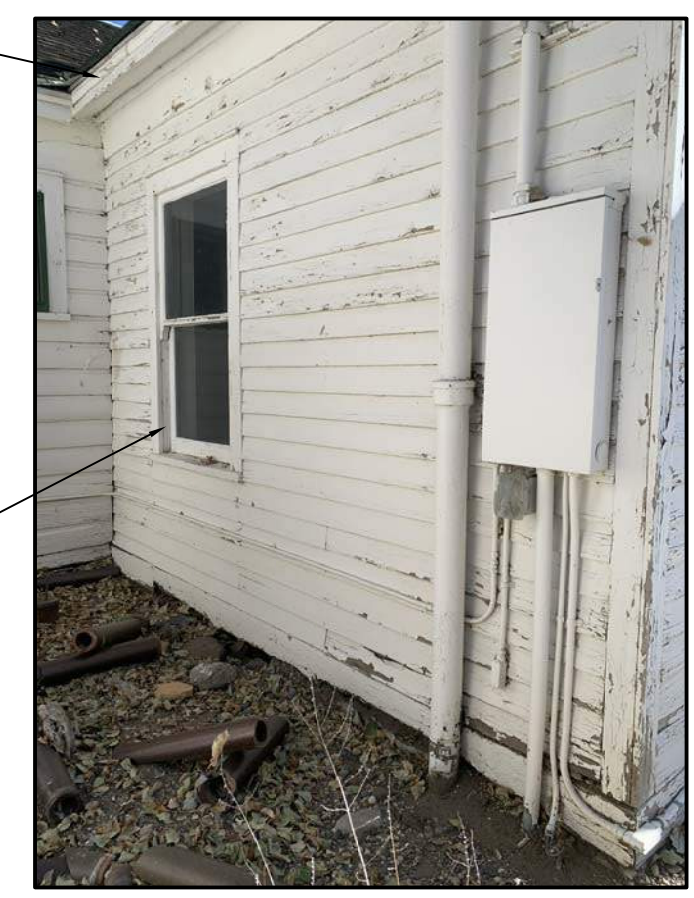
A4 Photo of Existing Condition
N.T.S.



A3 Photo of Existing Condition
N.T.S.



B5 Photo of Existing Condition
N.T.S.



B4 Photo of Existing Condition
N.T.S.



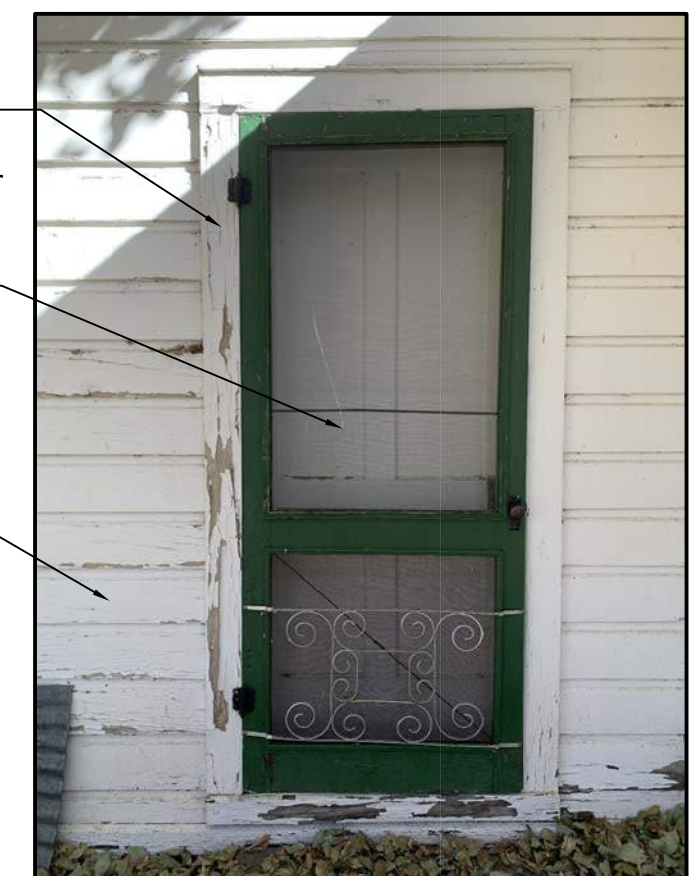
B3 Photo of Existing Condition
N.T.S.



B2 Photo of Existing Condition
N.T.S.



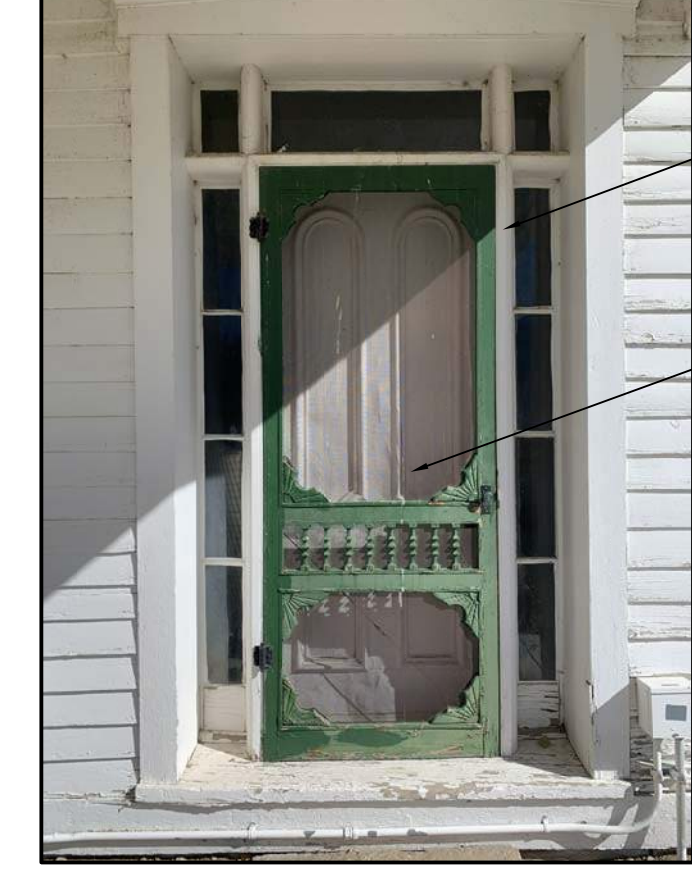
B1 Photo of Existing Condition
N.T.S.



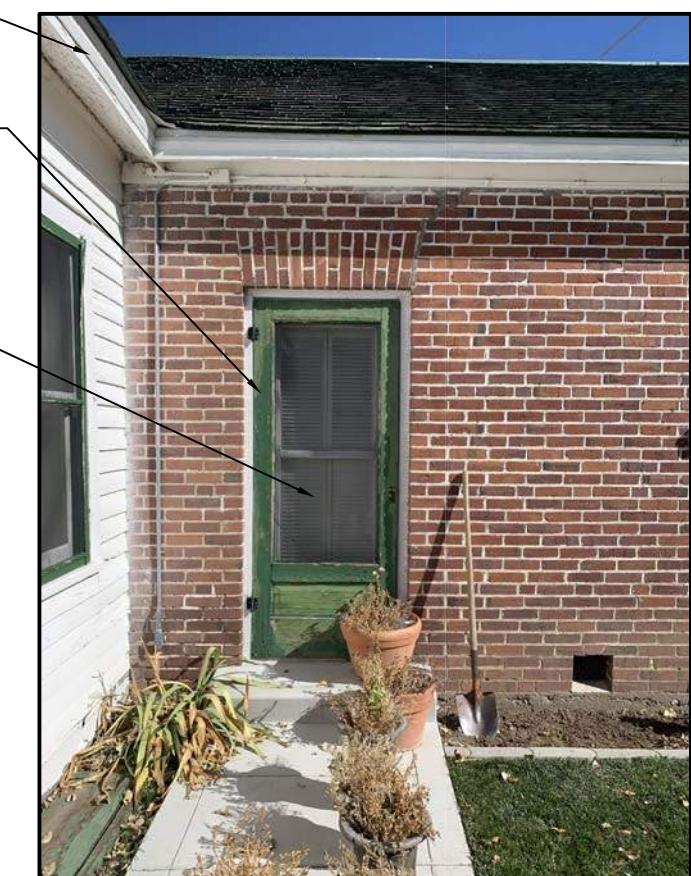
C4 Photo of Existing Condition
N.T.S.



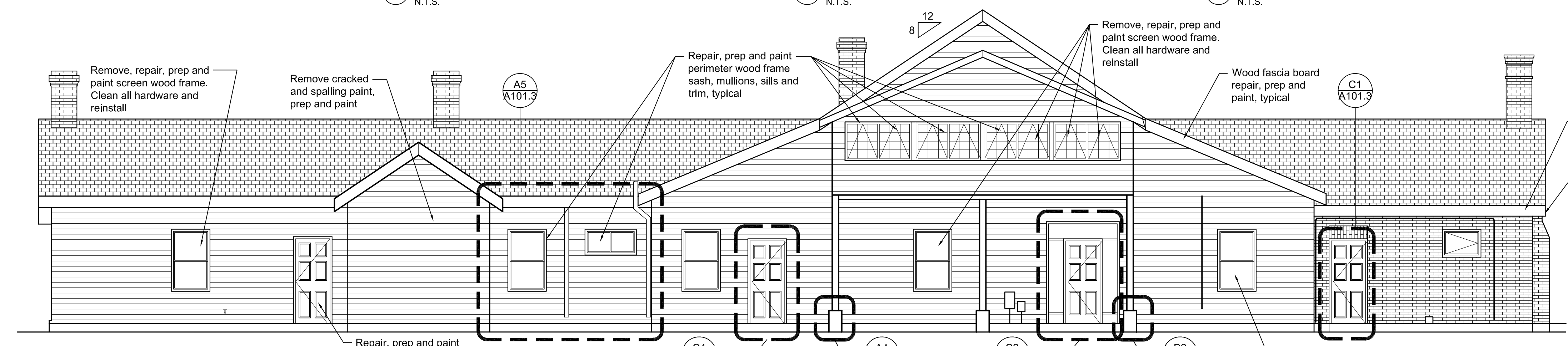
C3 Photo of Existing Condition
N.T.S.



C2 Photo of Existing Condition
N.T.S.



C1 Photo of Existing Condition
N.T.S.



D5 Main House - East Elevation - Base Bid
3/16" = 1'-0"

Exterior Elevation Notes

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consultant

project

**Dangberg Ranch
Exterior Restoration**
1594 Esmeralda Avenue
Minden, Nevada 89423

revisions

no.	description

drawn by RBR

reviewed by MLM

date 5/18/2022

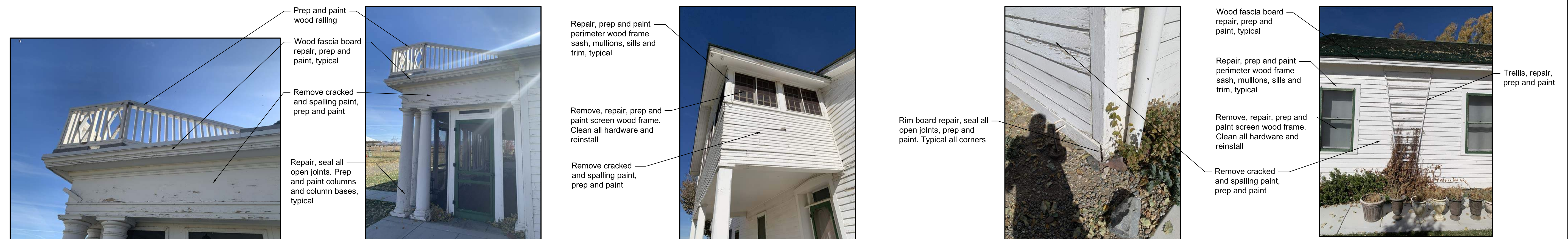
project number 19028

drawing name

**Main House
Ext. Elevation
Base Bid**

sheet number

A101.4



B5 Photo of Existing Condition
N.T.S.

B4 Photo of Existing Condition
N.T.S.

B3 Photo of Existing Condition
N.T.S.

B2 Photo of Existing Condition
N.T.S.

B1 Photo of Existing Condition
N.T.S.



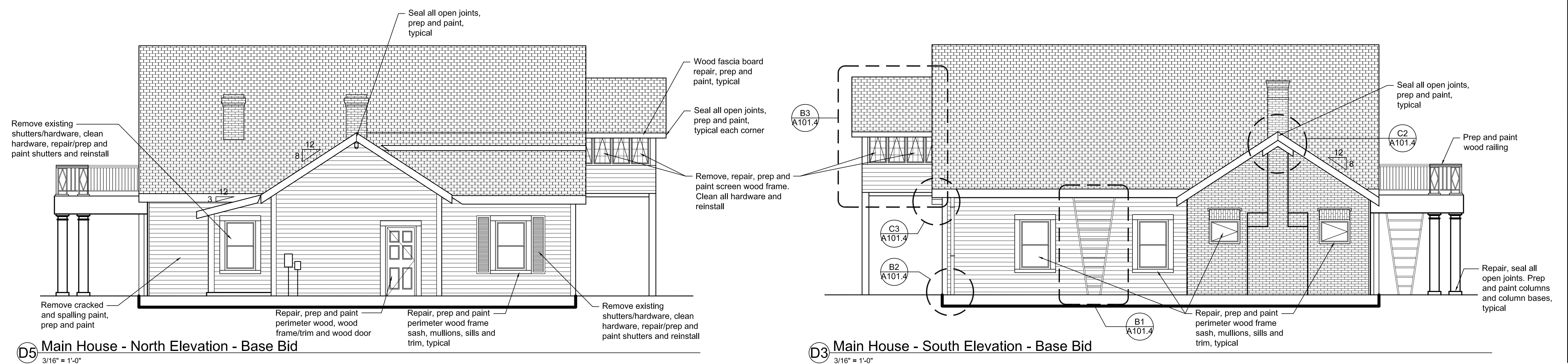
C5 Photo of Existing Condition
N.T.S.

C4 Photo of Existing Condition
N.T.S.

C3 Photo of Existing Condition
N.T.S.

C2 Photo of Existing Condition
N.T.S.

C1 Photo of Existing Condition
N.T.S.



D5 Main House - North Elevation - Base Bid
3/16" = 1'-0"

D3 Main House - South Elevation - Base Bid
3/16" = 1'-0"



A4 Stone Cellar - Exterior Photo North Elevation
N. T. S.



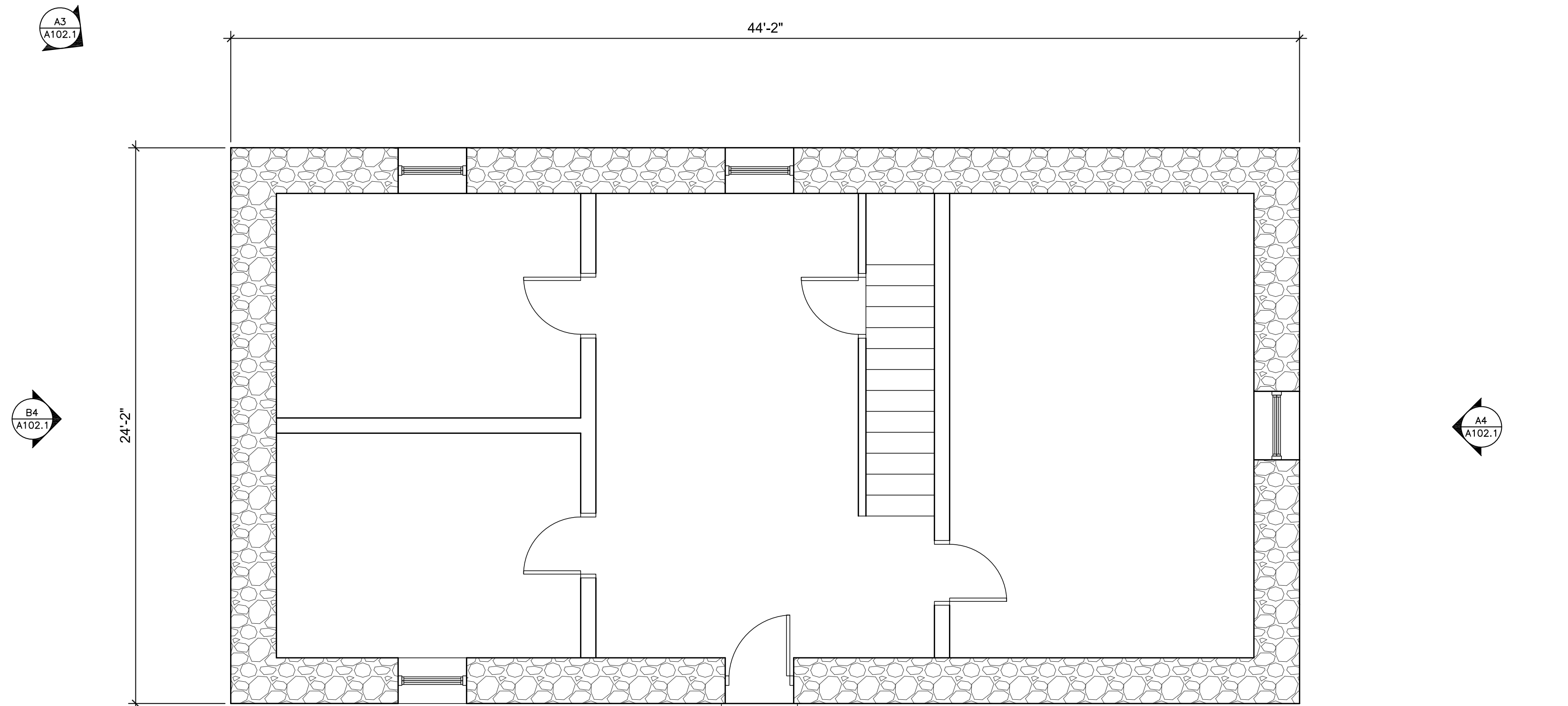
A3 Stone Cellar - Exterior Photo Southwest Elevation
N. T. S.



B4 Stone Cellar - Exterior Photo South Elevation
N. T. S.



B3 Stone Cellar - Exterior Photo Northeast Elevation
N. T. S.



D4 Stone Cellar - Floor Plan - Alternate 4
1/4" = 1'-0"

Floor Plan Notes

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date 5/18/2022

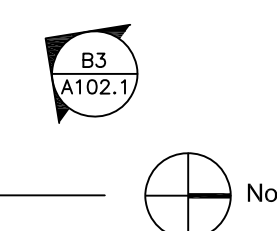
project number 19028

drawing name

Stone Cellar
Floor Plan,
Exterior Photos
Alternate 4

sheet number

A102.1



Exterior Elevation Notes

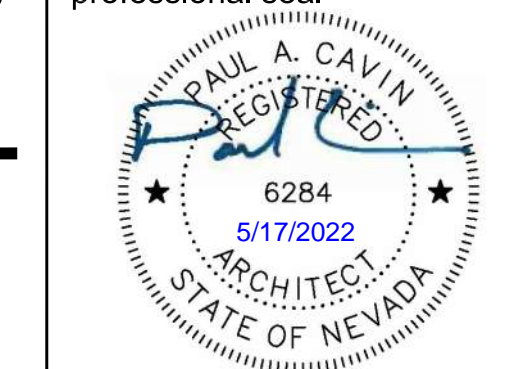
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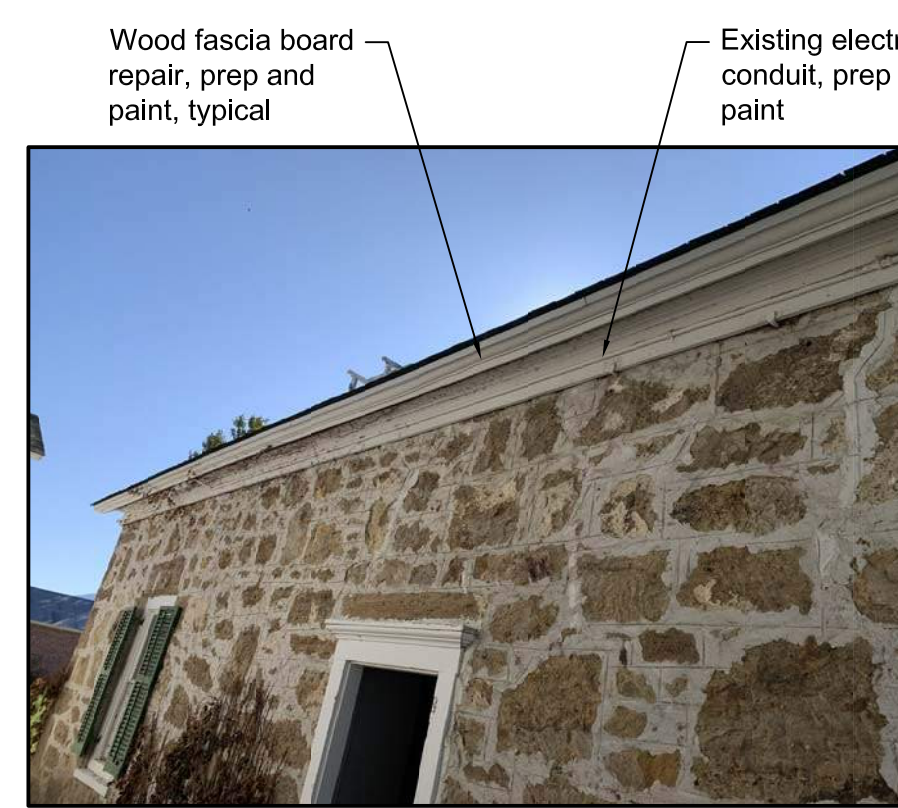
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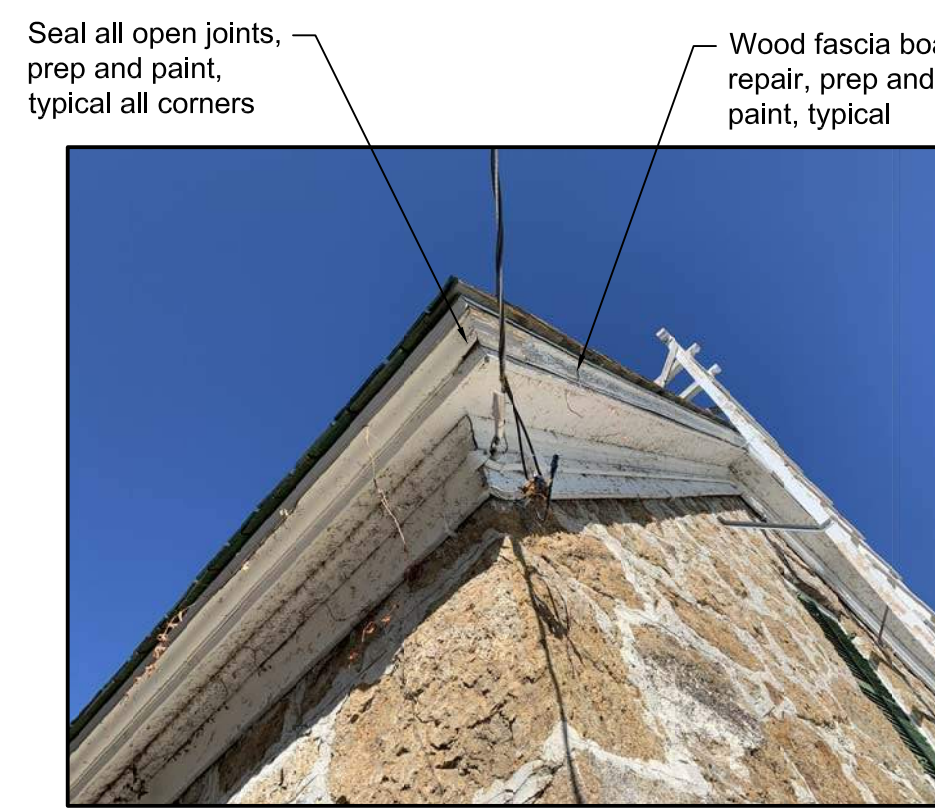
professional seal



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A5 Photo of Existing Condition
N.T.S.



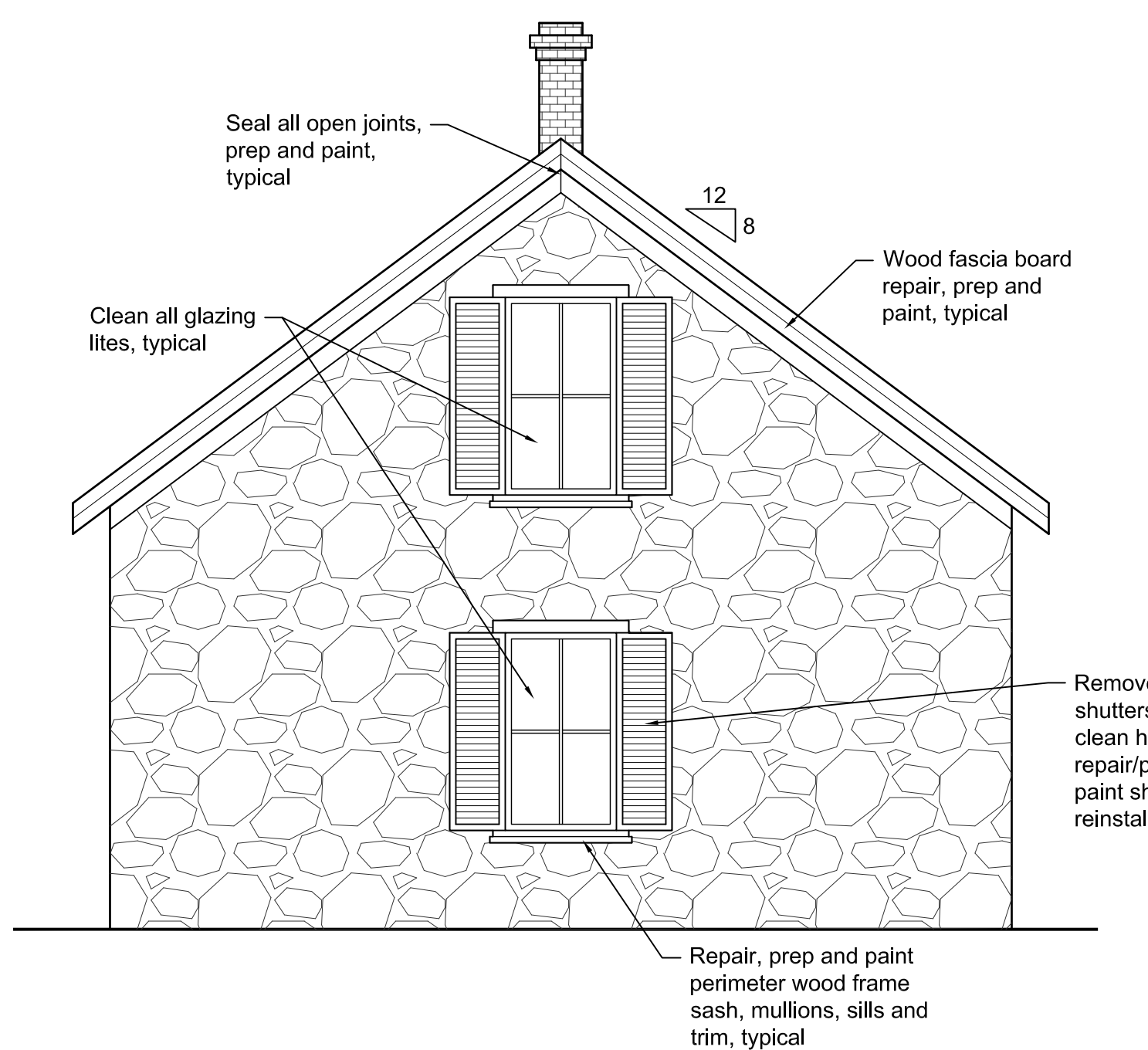
A4 Photo of Existing Condition
N.T.S.



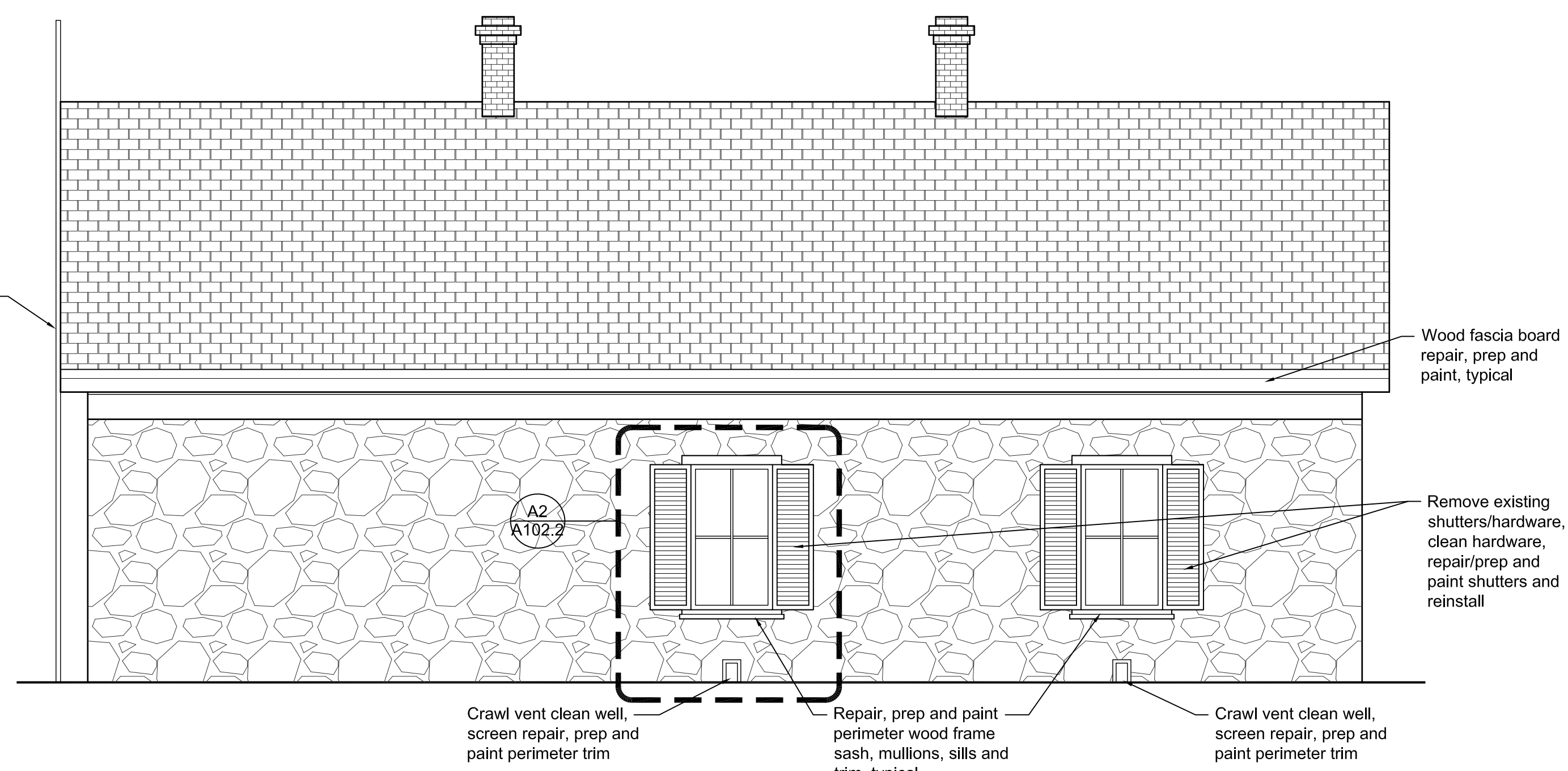
A3 Photo of Existing Condition
N.T.S.



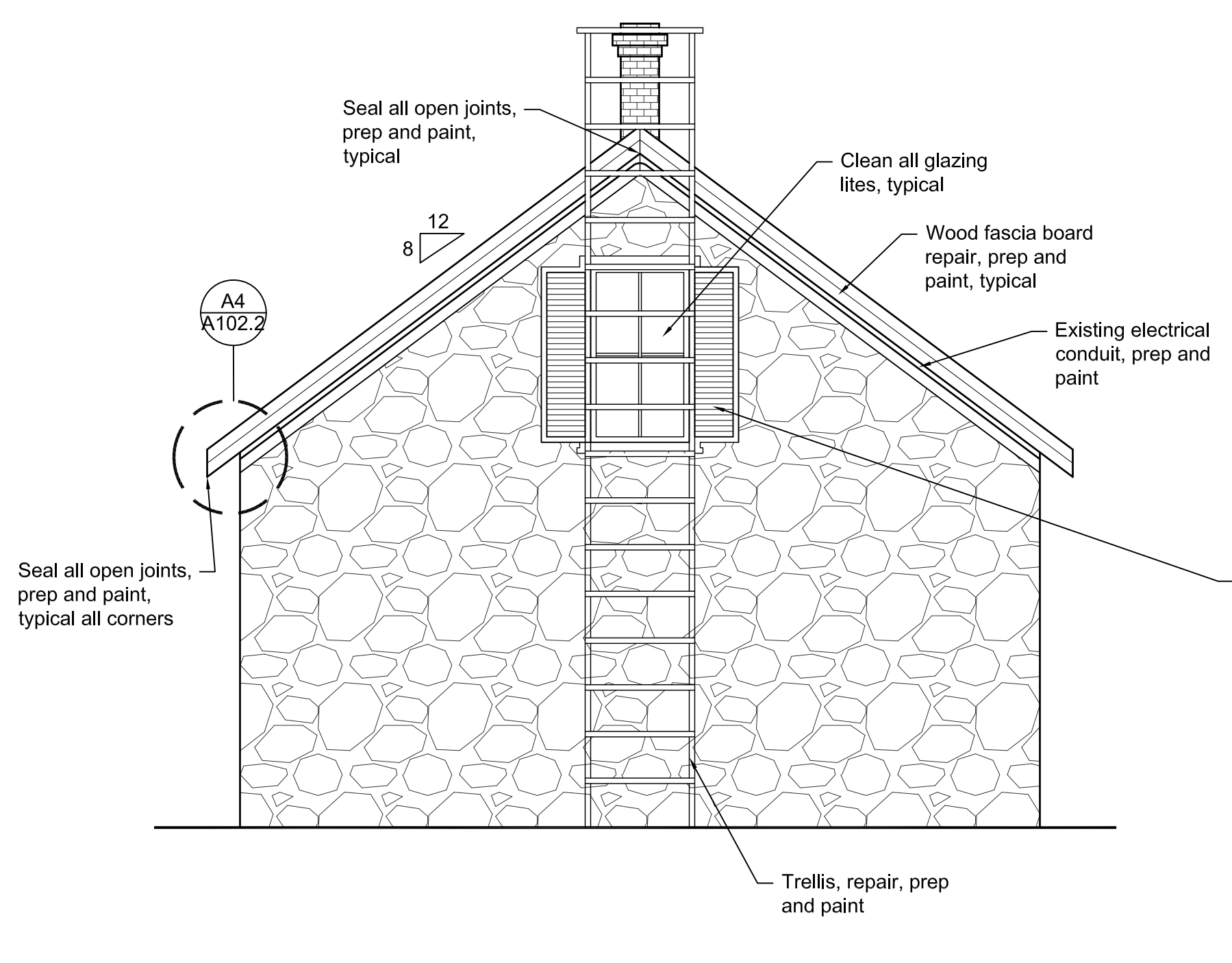
A2 Photo of Existing Condition
N.T.S.



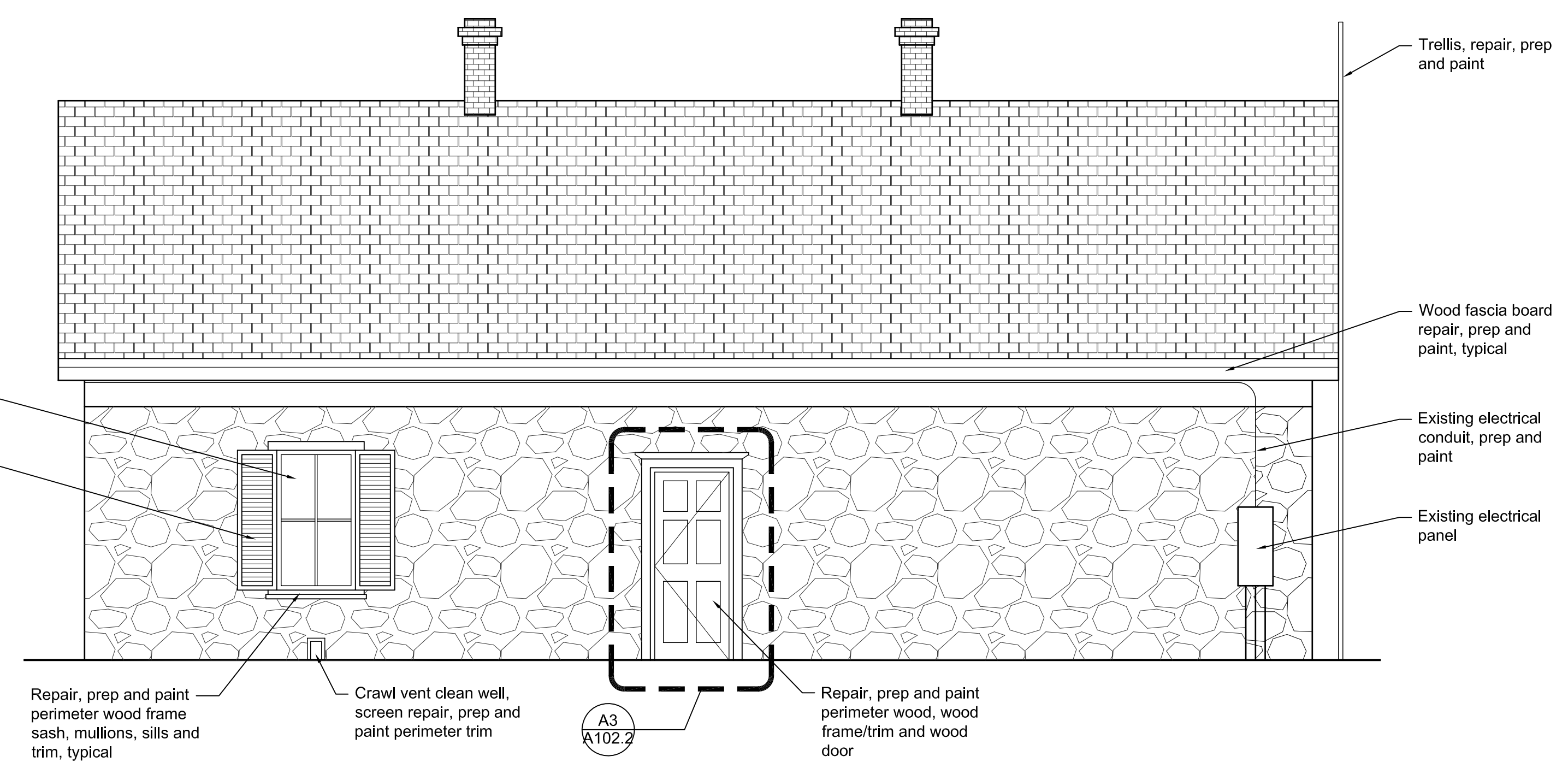
B5 Stone Cellar - North Elevation - Alternate 4
1/4" = 1'-0"



B4 Stone Cellar - West Elevation - Alternate 4
1/4" = 1'-0"



D5 Stone Cellar - South Elevation - Alternate 4
1/4" = 1'-0"



D4 Stone Cellar - East Elevation - Alternate 4
1/4" = 1'-0"

project

**Dangberg Ranch
Exterior Restoration**
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Minden, Nevada 89423

revisions

no.	description

drawn by **RBR**
reviewed by **MLM**
date **5/18/2022**
project number **19028**

drawing name
**Stone Cellar
Exterior
Elevations
Alternate 4**

sheet number

A102.2



A4 Laundry House - Exterior Photo North Elevation
N. T. S.



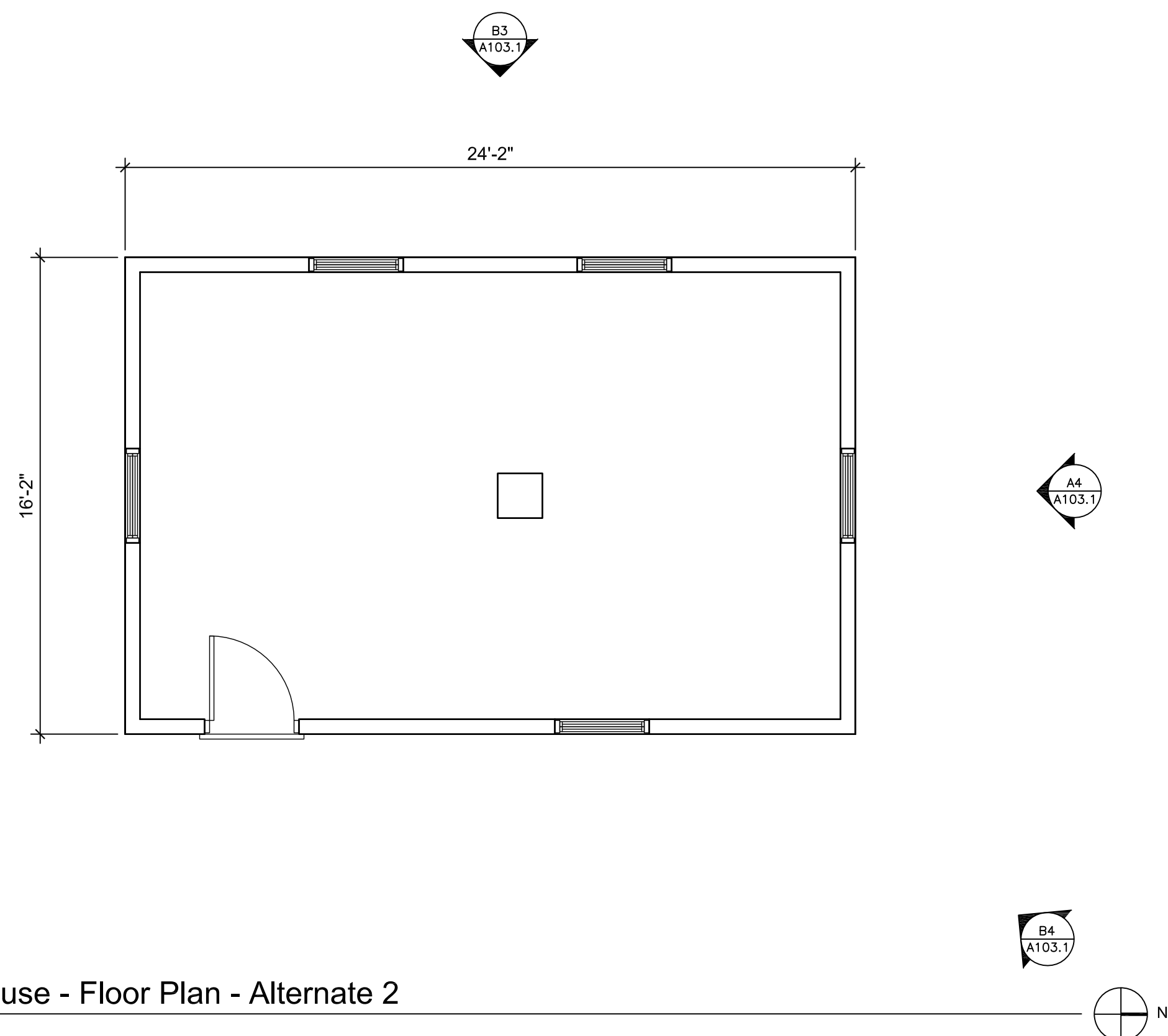
A3 Laundry House - Exterior Photo Northeast Elevation
N. T. S.



B4 Laundry House - Exterior Photo Southeast Elevation
N. T. S.



B3 Laundry House - Exterior Photo West Elevation
N. T. S.



D3 Laundry House - Floor Plan - Alternate 2
1/4" = 1'-0"

Floor Plan Notes

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drawing name

**Laundry House
Floor Plan,
Exterior Photos
Alternate 2**

sheet number

A103.1



Clean all glazing lites, typical

Remove, repair, prep and paint screen wood frame. Clean all hardware, typical at each window

Repair, prep and paint perimeter wood frame sash, mullions, sills and trim, typical

A5 Photo of Existing Condition
N.T.S.



A4 Photo of Existing Condition
N.T.S.



Wood fascia board repair, prep and paint, typical

Seal all open joints, prep and paint, typical each corner



A3 Photo of Existing Condition
N.T.S.

A2 Photo of Existing Condition
N.T.S.

Exterior Elevation Notes

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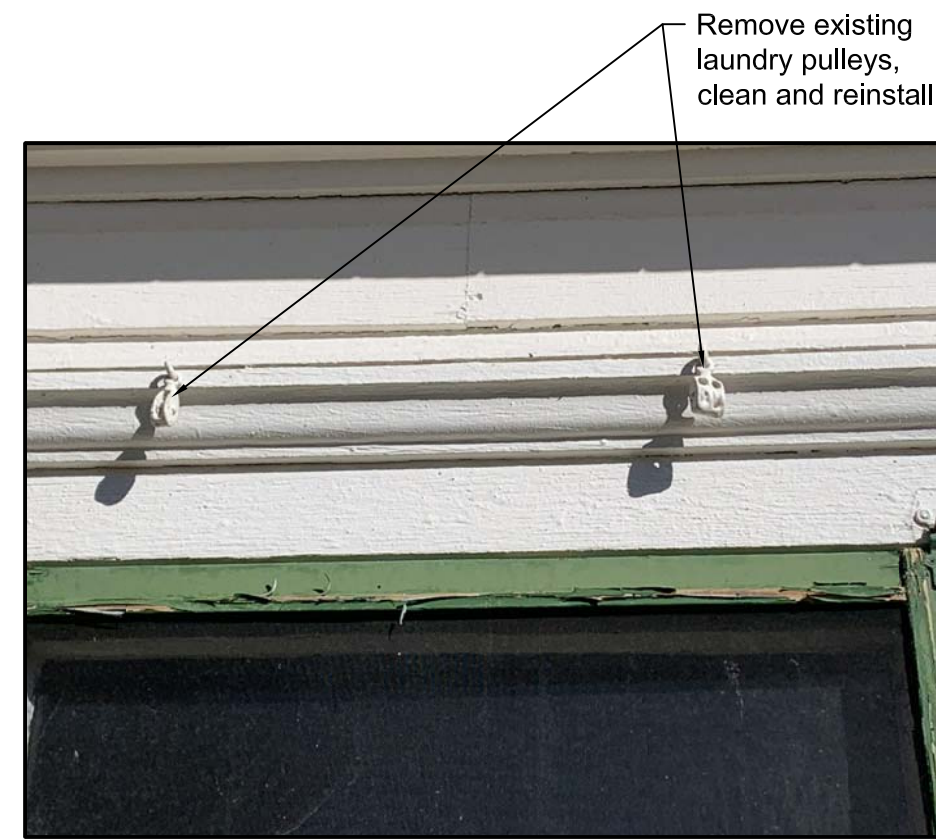
project number **19028**

drawing name

**Laundry House
Exterior
Elevations
Alternate 2**

sheet number

A103.2



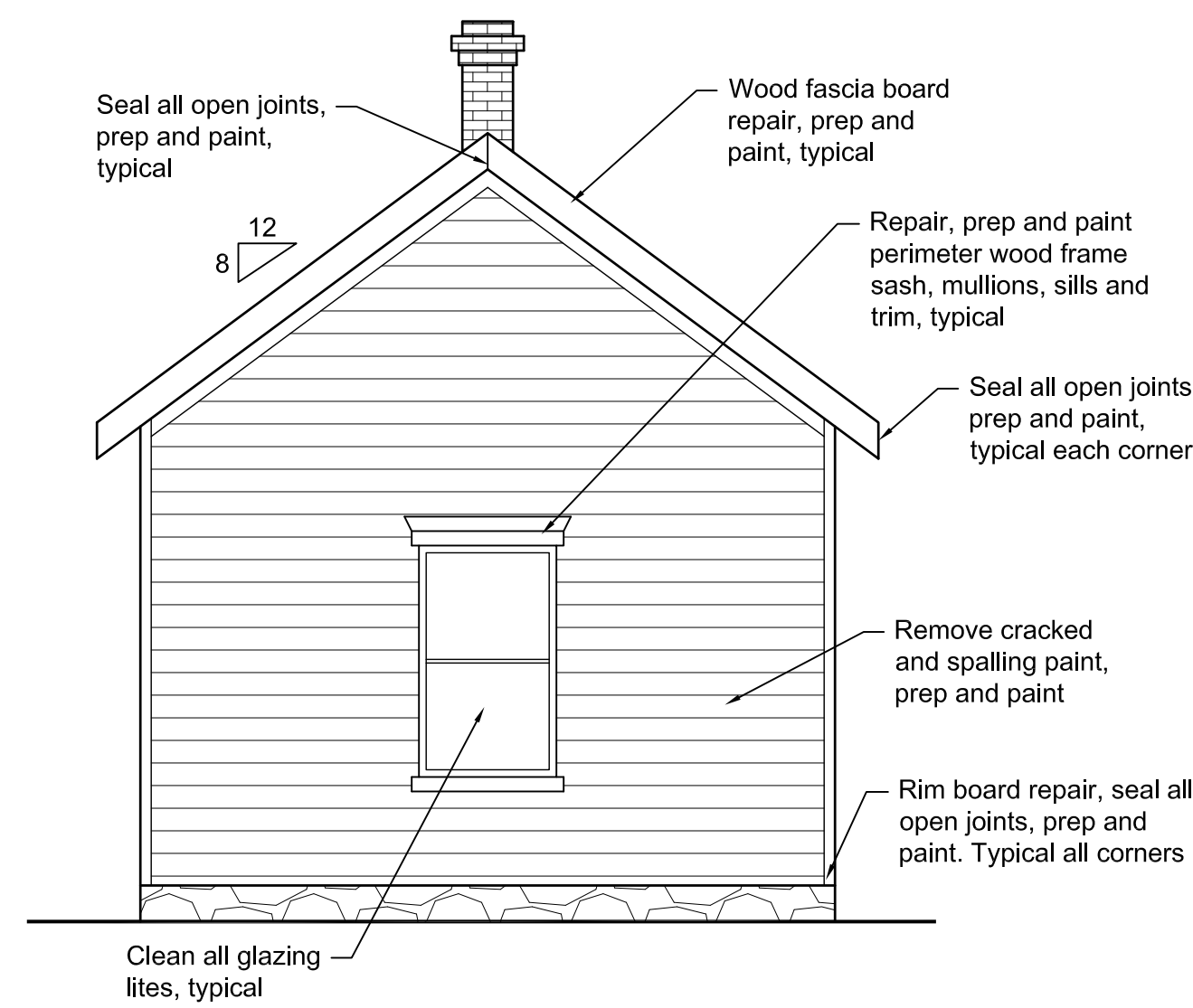
Remove existing laundry pulleys, clean and reinstall

B5 Photo of Existing Condition
N.T.S.

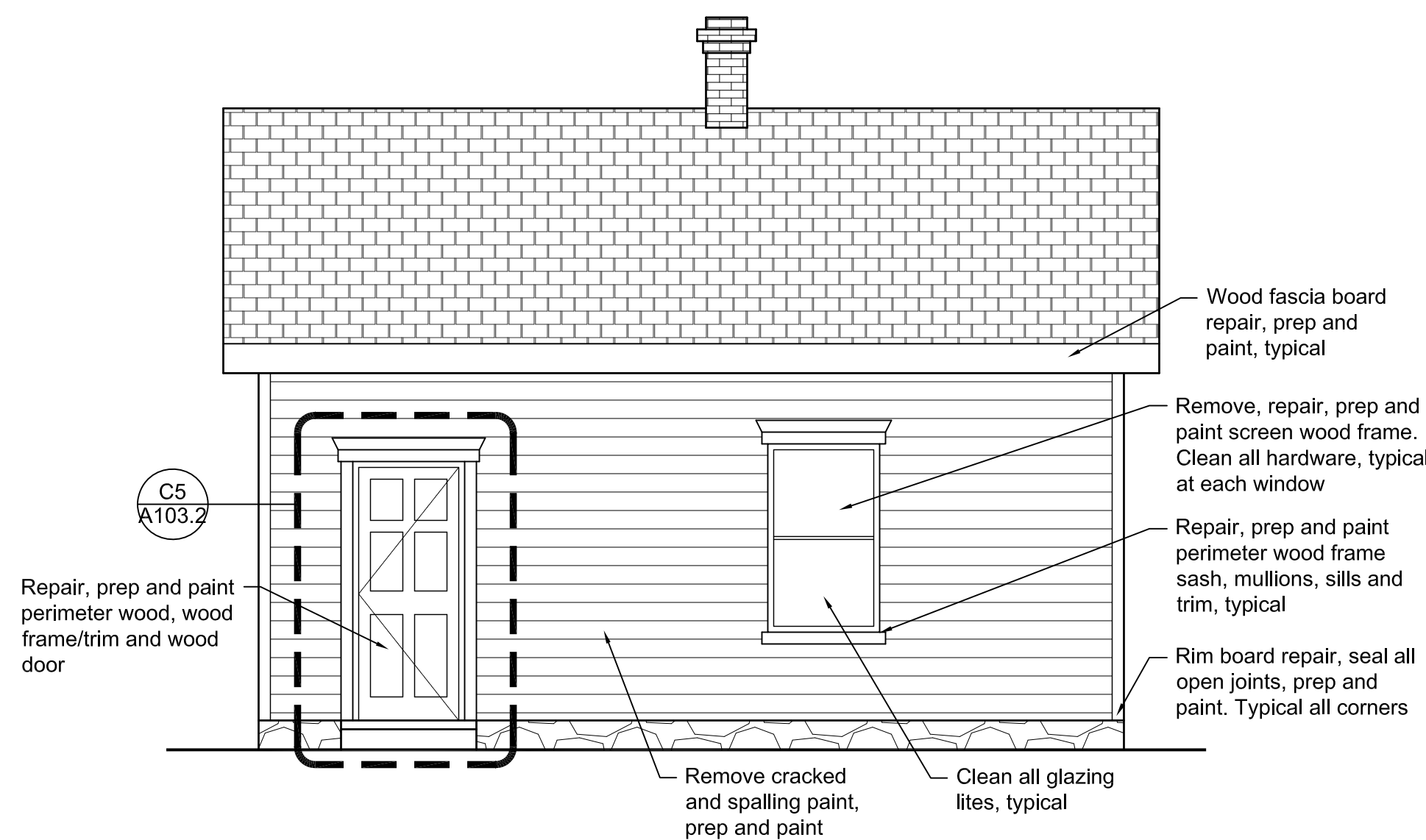


Repair, prep and paint perimeter wood, wood frame/trim and wood door

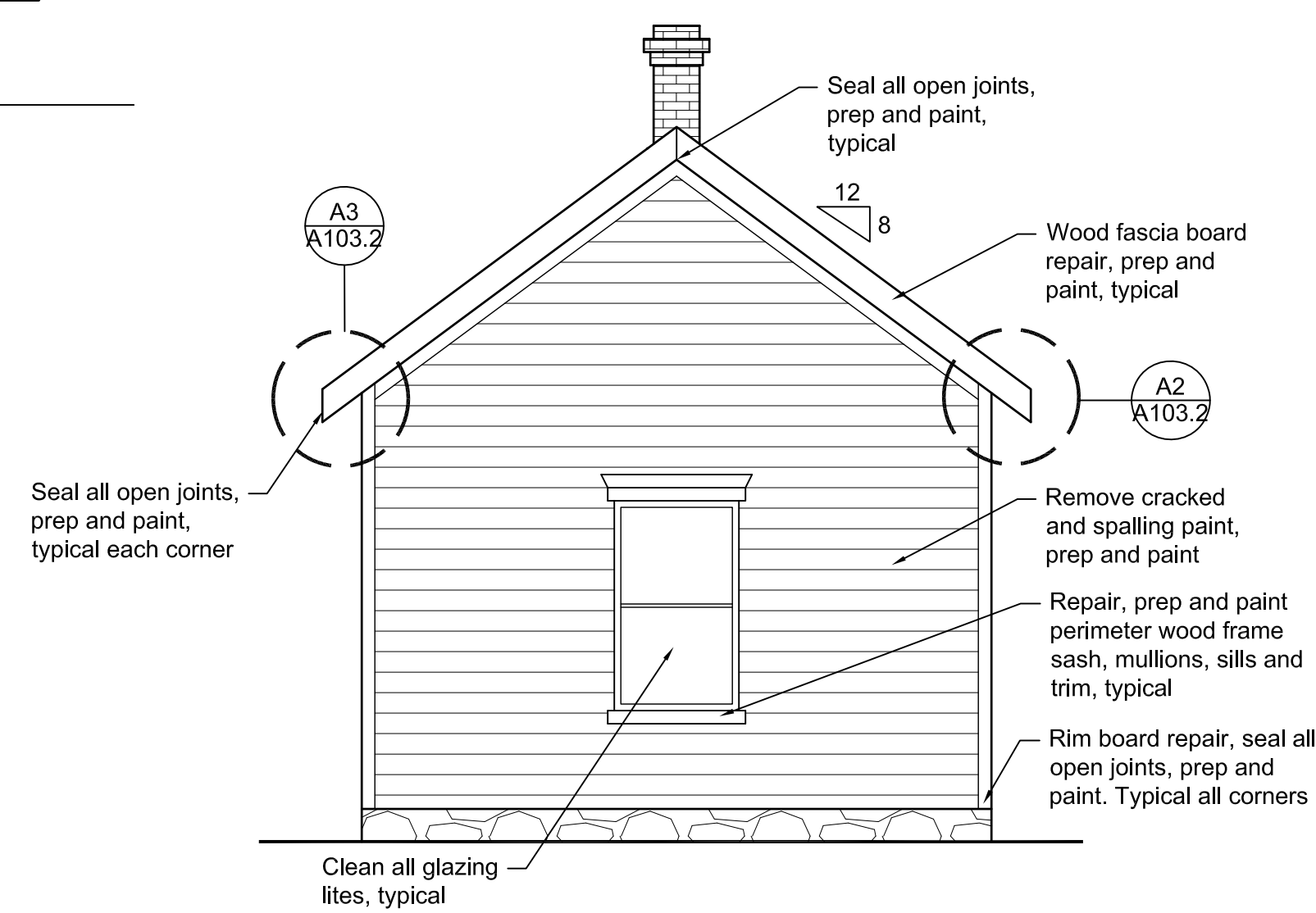
C5 Photo of Existing Condition
N.T.S.



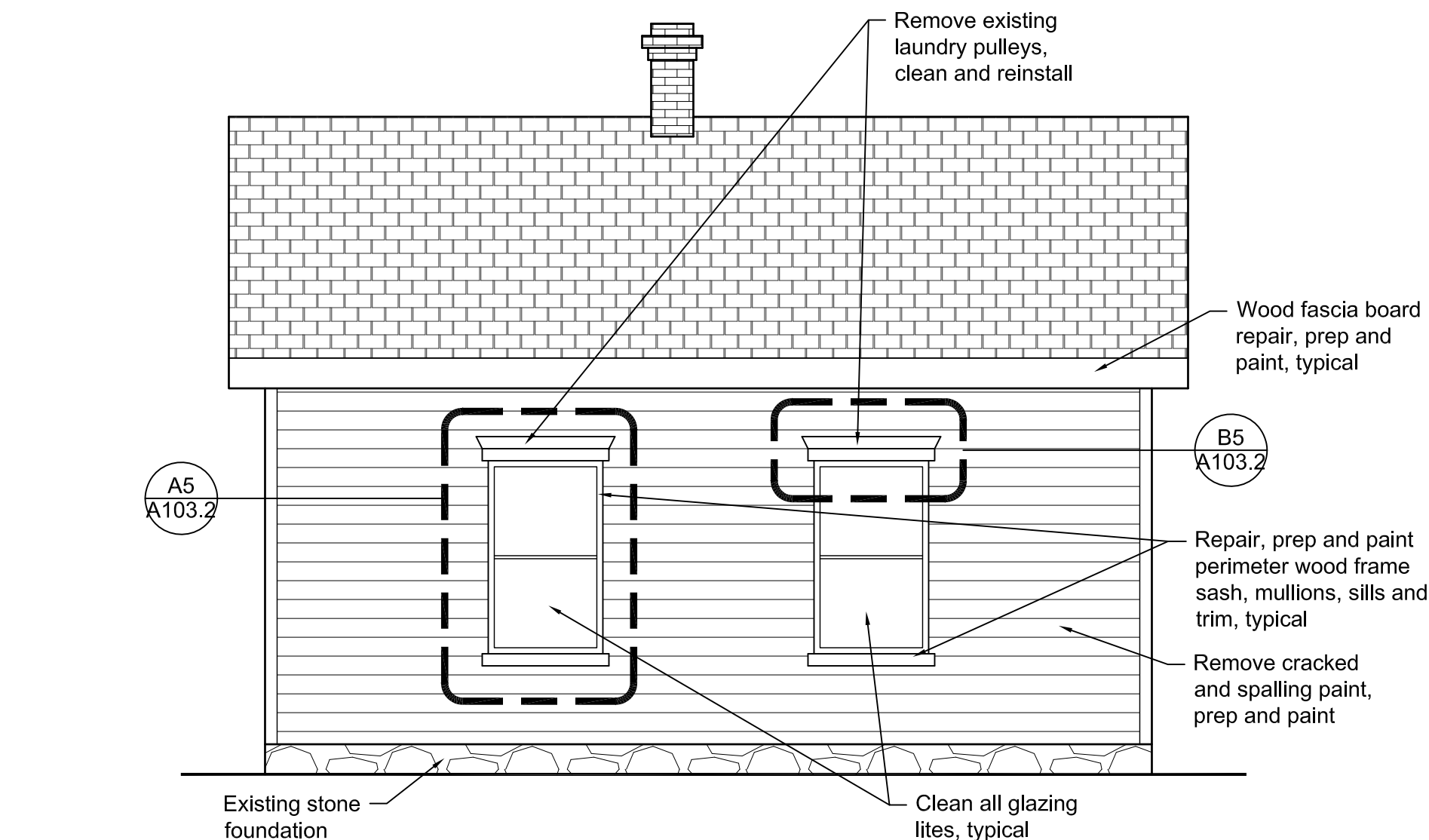
C3 Laundry House - South Elevation - Alternate 2
1/4" = 1'-0"



C2 Laundry House - East Elevation - Alternate 2
1/4" = 1'-0"



D3 Laundry House - North Elevation - Alternate 2
1/4" = 1'-0"



D2 Laundry House - West Elevation - Alternate 2
1/4" = 1'-0"



A4 Carriage House - Exterior Photo North Elevation
N. T. S.



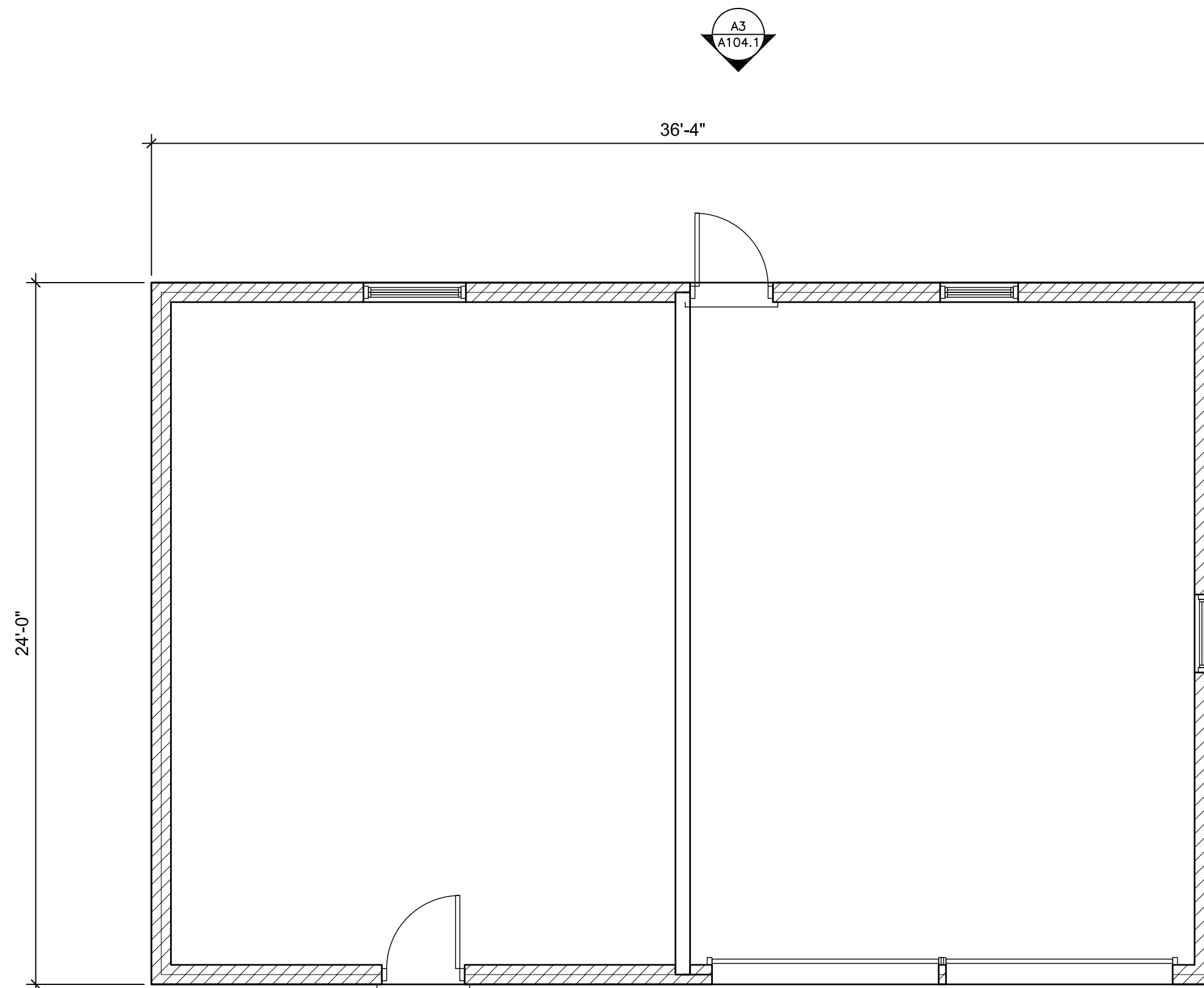
A3 Carriage House - Exterior Photo West Elevation
N. T. S.



B4 Carriage House - Exterior Photo South Elevation
N. T. S.



B3 Carriage House - Exterior Photo East Elevation
N. T. S.



D3 Carriage House - Floor Plan - Alternate 5
1/4" = 1'-0"

Floor Plan Notes

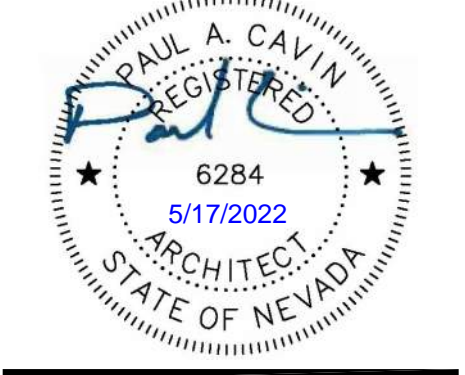
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project

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Exterior Restoration**
1594 Esmeralda Avenue
Minden, Nevada 89423

revisions

no.	description

drawn by RBR

reviewed by MLM

date 5/18/2022

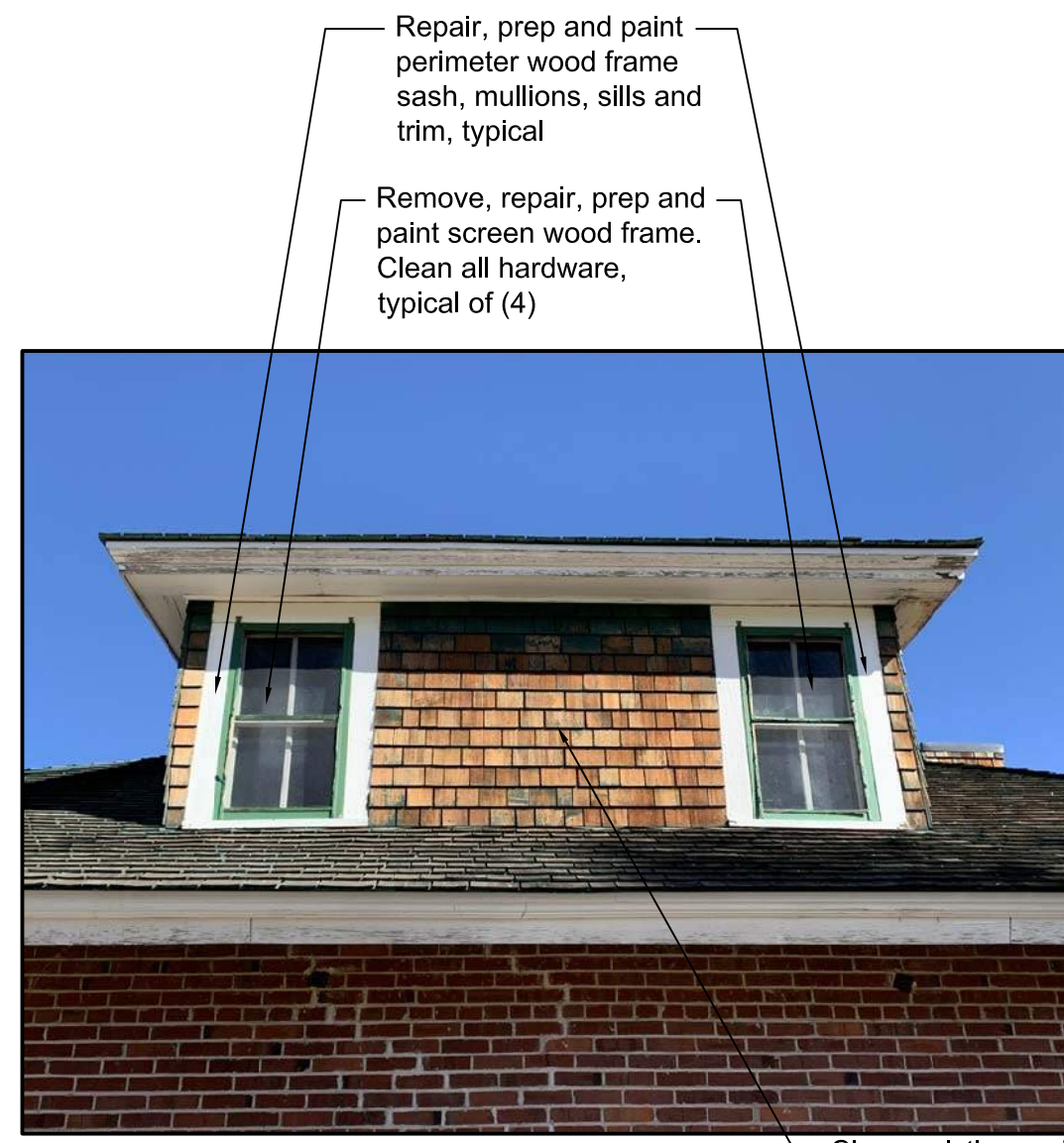
project number 19028

drawing name

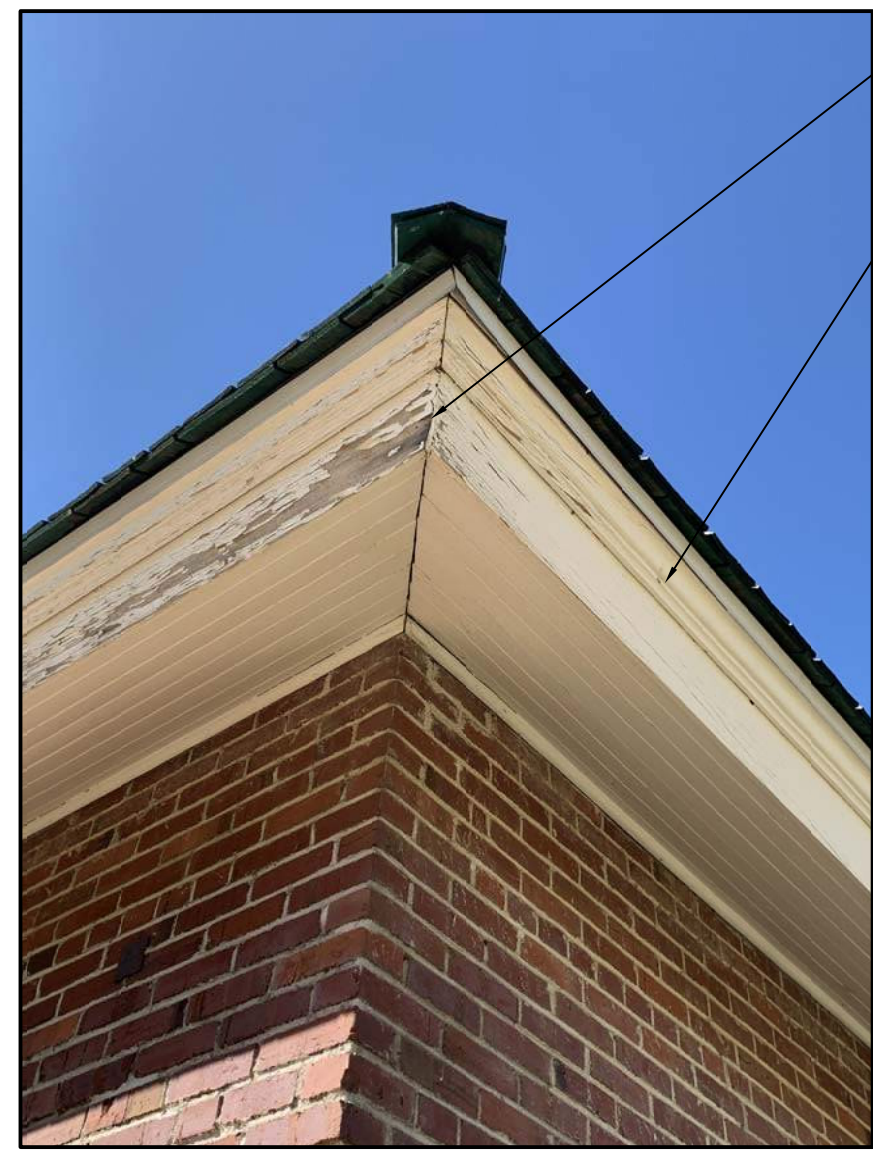
**Carriage House
Floor Plan,
Exterior Photos
Alternate 5**

sheet number

A104.1



A5 Photo of Existing Condition
N.T.S.



A4 Photo of Existing Condition
N.T.S.



A3 Photo of Existing Condition
N.T.S.



A2 Photo of Existing Condition
N.T.S.

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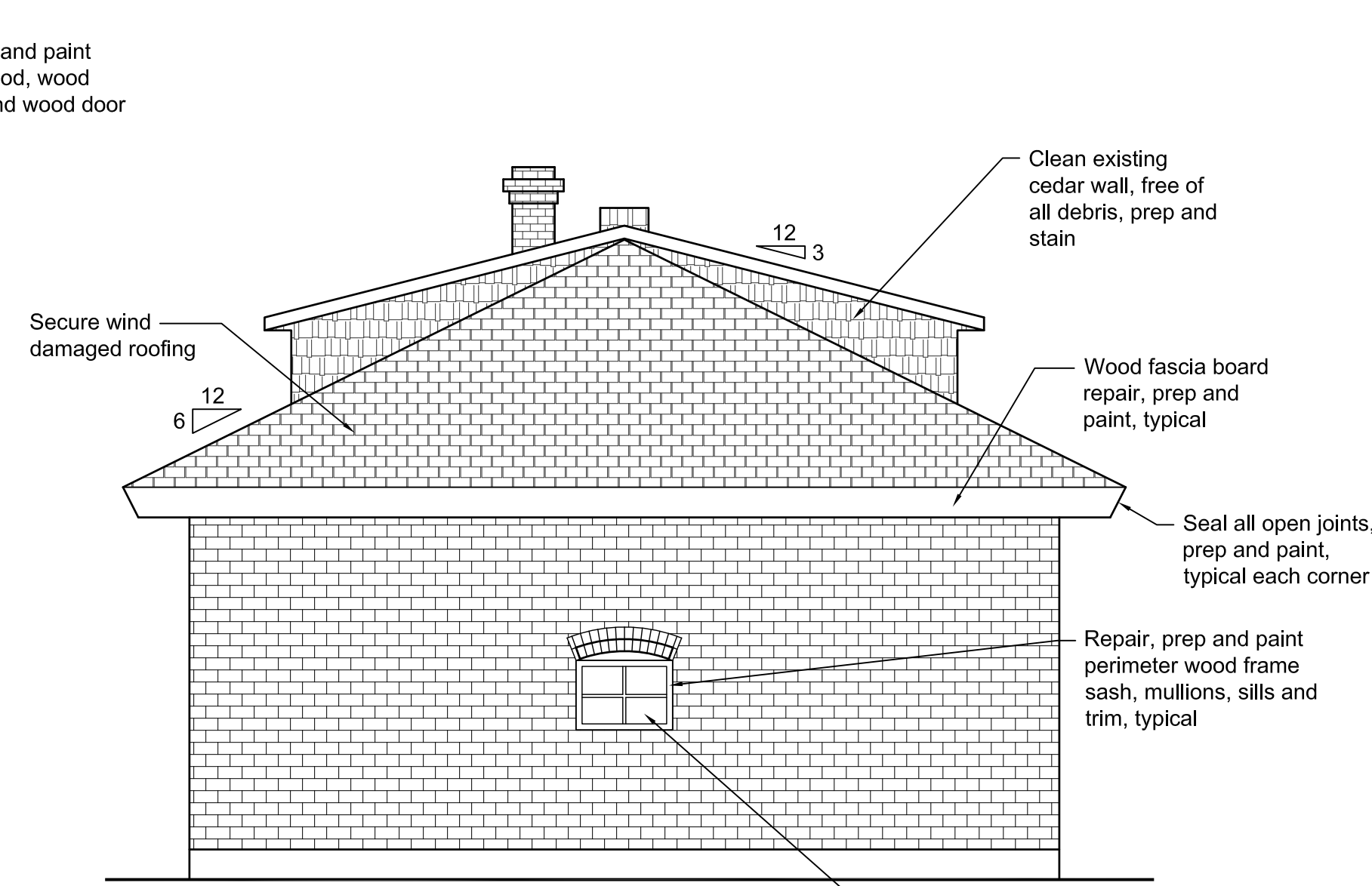
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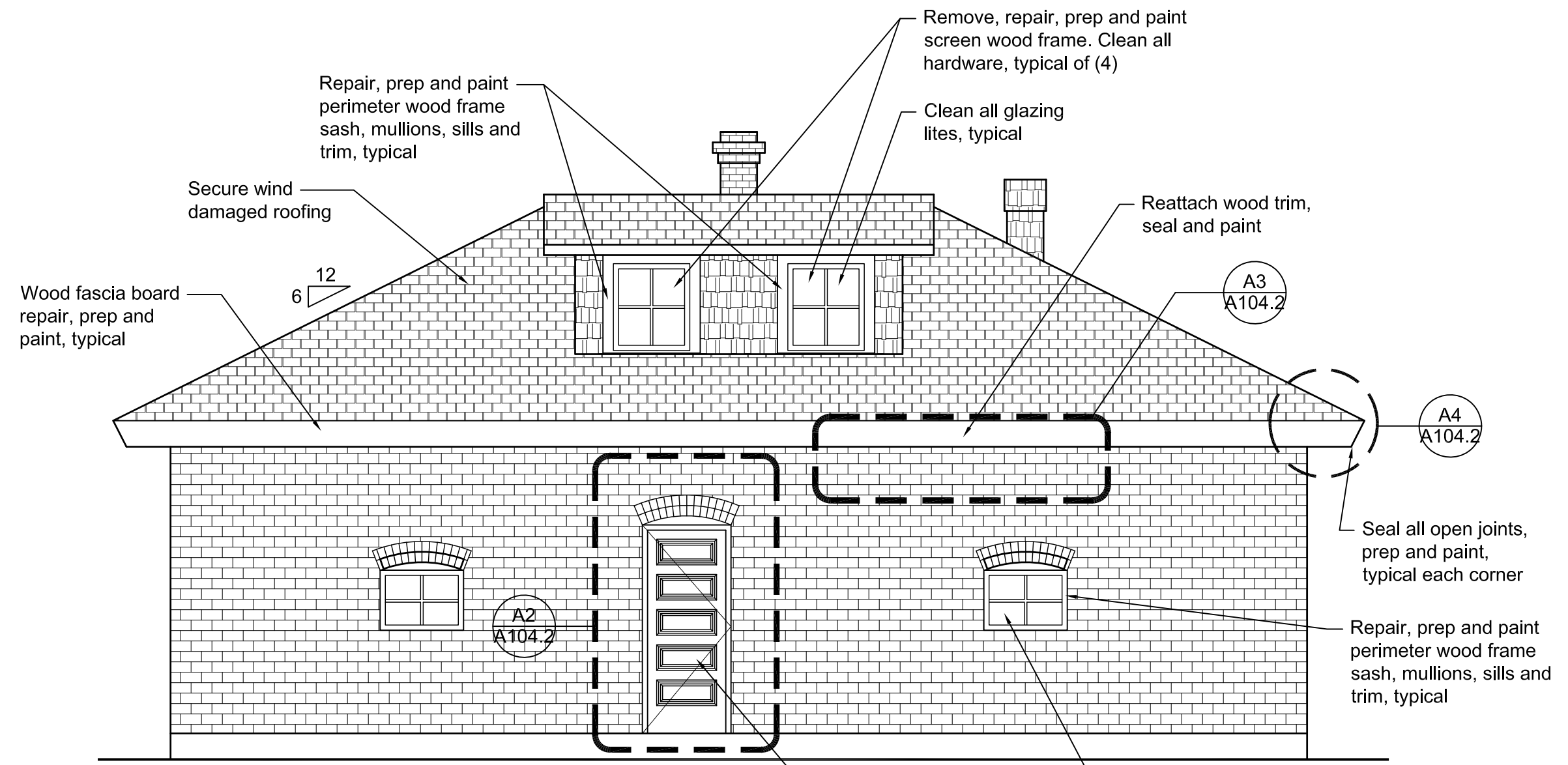
consultant



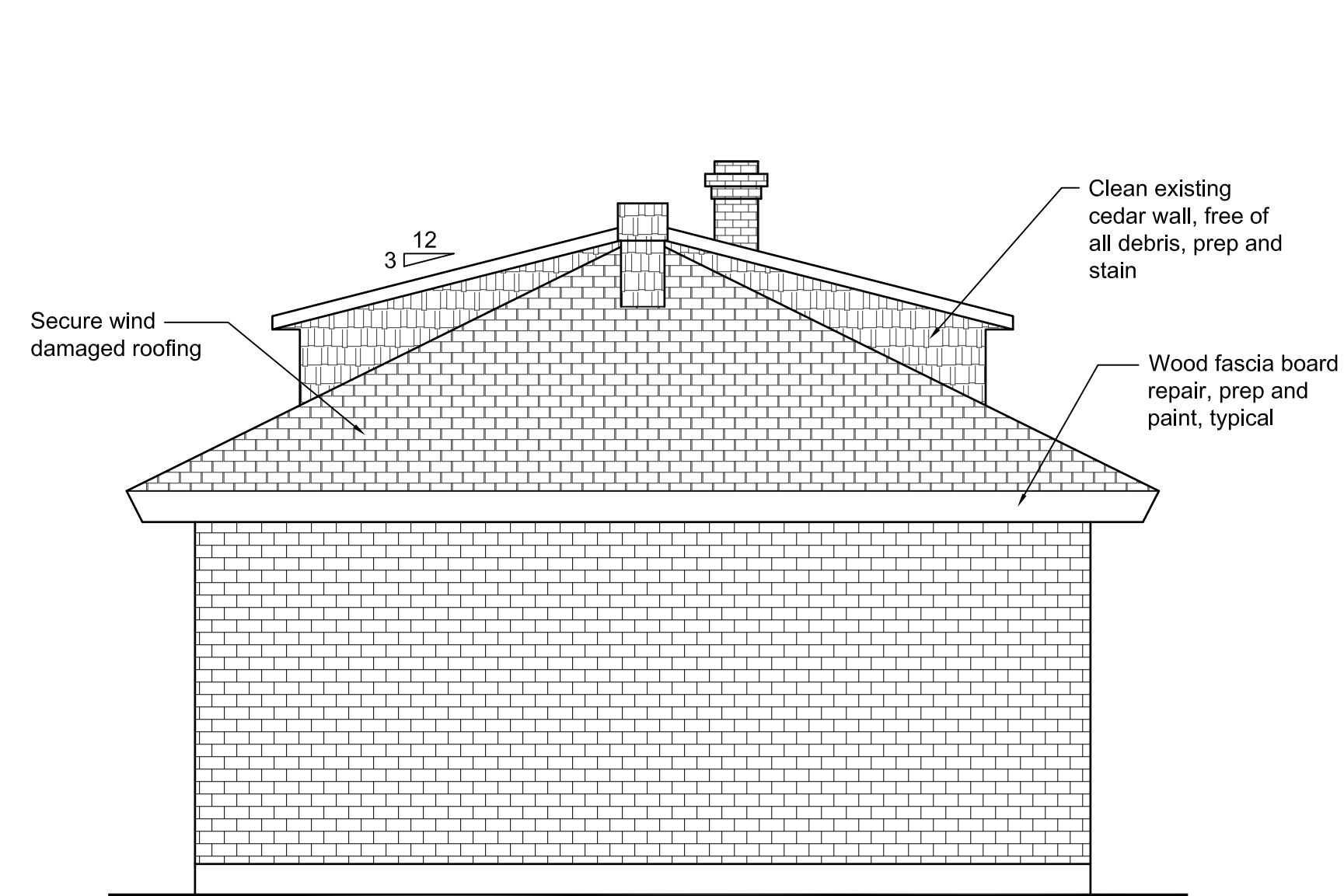
B5 Photo of Existing Condition
N.T.S.



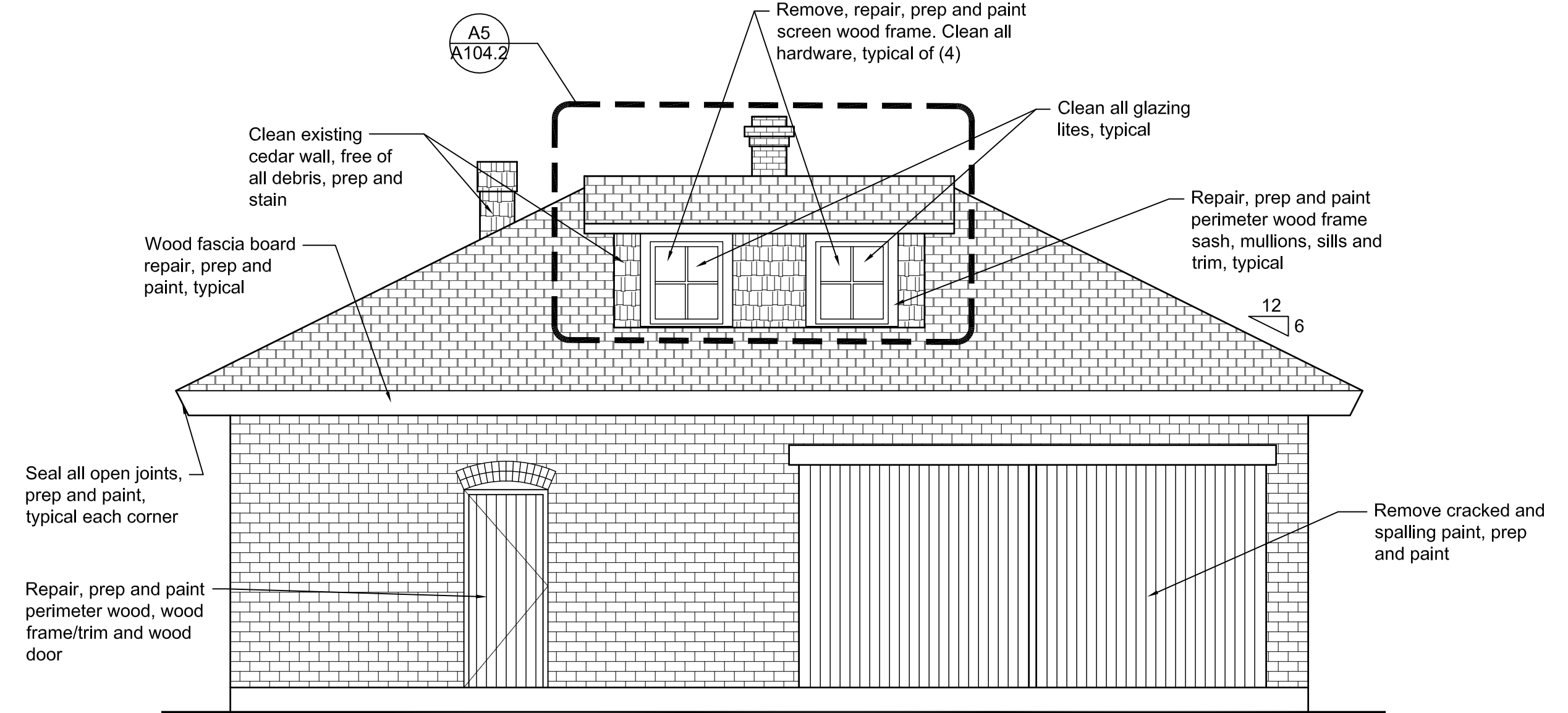
C4 Carriage House - North Elevation - Alternate 5
1/4" = 1'-0"



C2 Carriage House - West Elevation - Alternate 5
1/4" = 1'-0"



D4 Carriage House - South Elevation - Alternate 5
1/4" = 1'-0"



D2 Carriage House - East Elevation - Alternate 5
1/4" = 1'-0"

project

**Dangberg Ranch
Exterior Restoration**
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Minden, Nevada 89423

revisions

no.	description

drawn by **RBR**
reviewed by **MLM**
date **5/18/2022**
project number **19028**

drawing name
**Carriage House
Exterior
Elevations
Alternate 5**

sheet number

A104.2



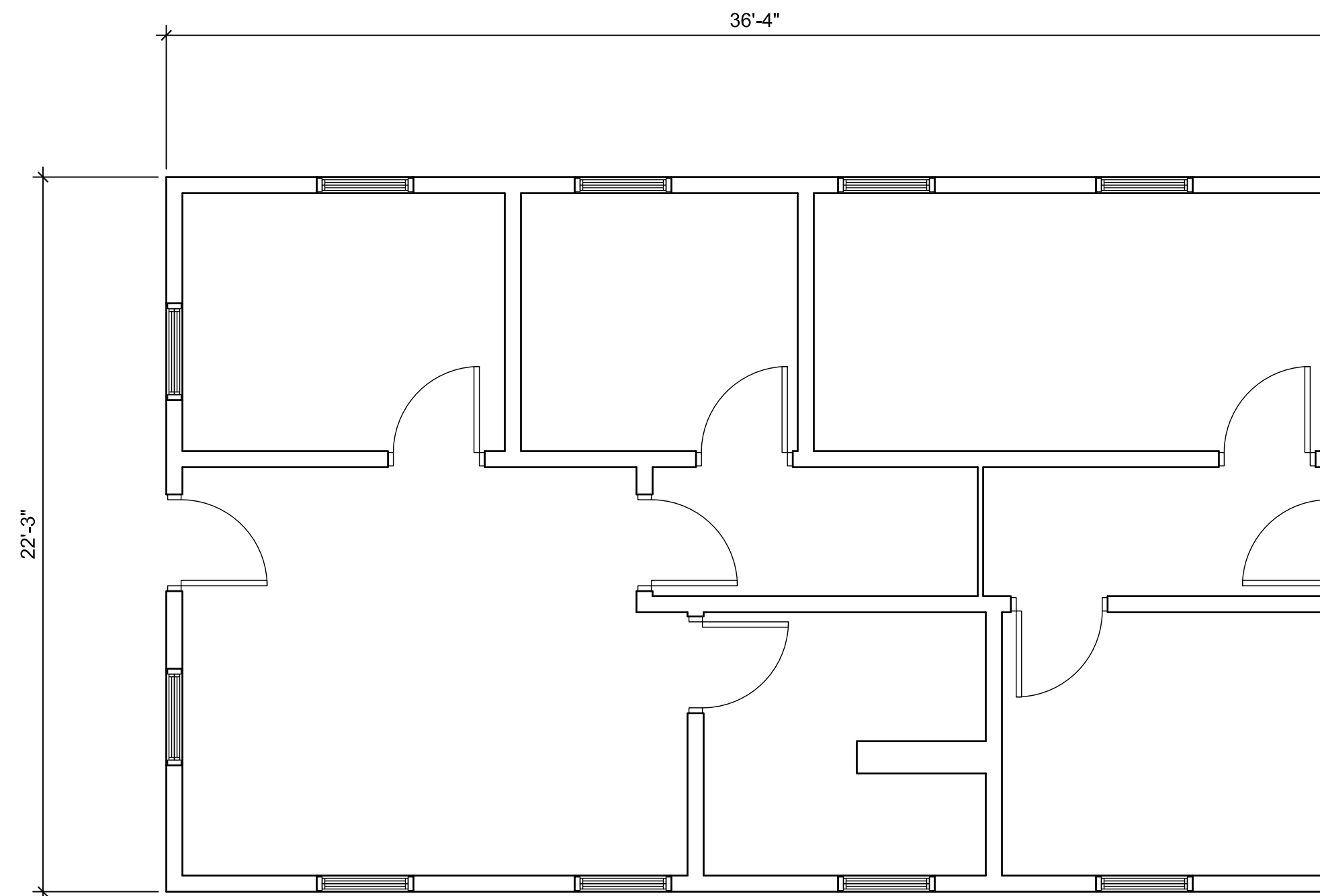
A3 Bunk House - Exterior Photo Northeast Elevation
N. T. S.



A2 Bunk House - Exterior Photo North Elevation
N. T. S.



B3 Bunk House - Exterior Photo West Elevation
N. T. S.



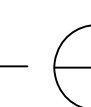
B3
A105.1

A2
A105.1

A3
A105.1

D3 Bunk House - Floor Plan - Alternate 3
1/4" = 1'-0"

North



Floor Plan Notes

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revisions

no.	description	date

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reviewed by MLM

date 5/18/2022

project number 19028

drawing name

**Bunk House
Floor Plan,
Exterior Photos
Alternate 3**

sheet number

A105.1



A5 Photo of Existing Condition
N.T.S.



A4 Photo of Existing Condition
N.T.S.



A3 Photo of Existing Condition
N.T.S.



A2 Photo of Existing Condition
N.T.S.

Remove, repair, prep and paint wood framing screened door, clean all hardware and reinstall

Exterior Elevation Notes

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B5 Photo of Existing Condition
N.T.S.

Rim board repair, seal all open joints, prep and paint. Typical all corners



Rim board repair, seal all open joints, prep and paint. Typical all corners

C5 Photo of Existing Condition
N.T.S.



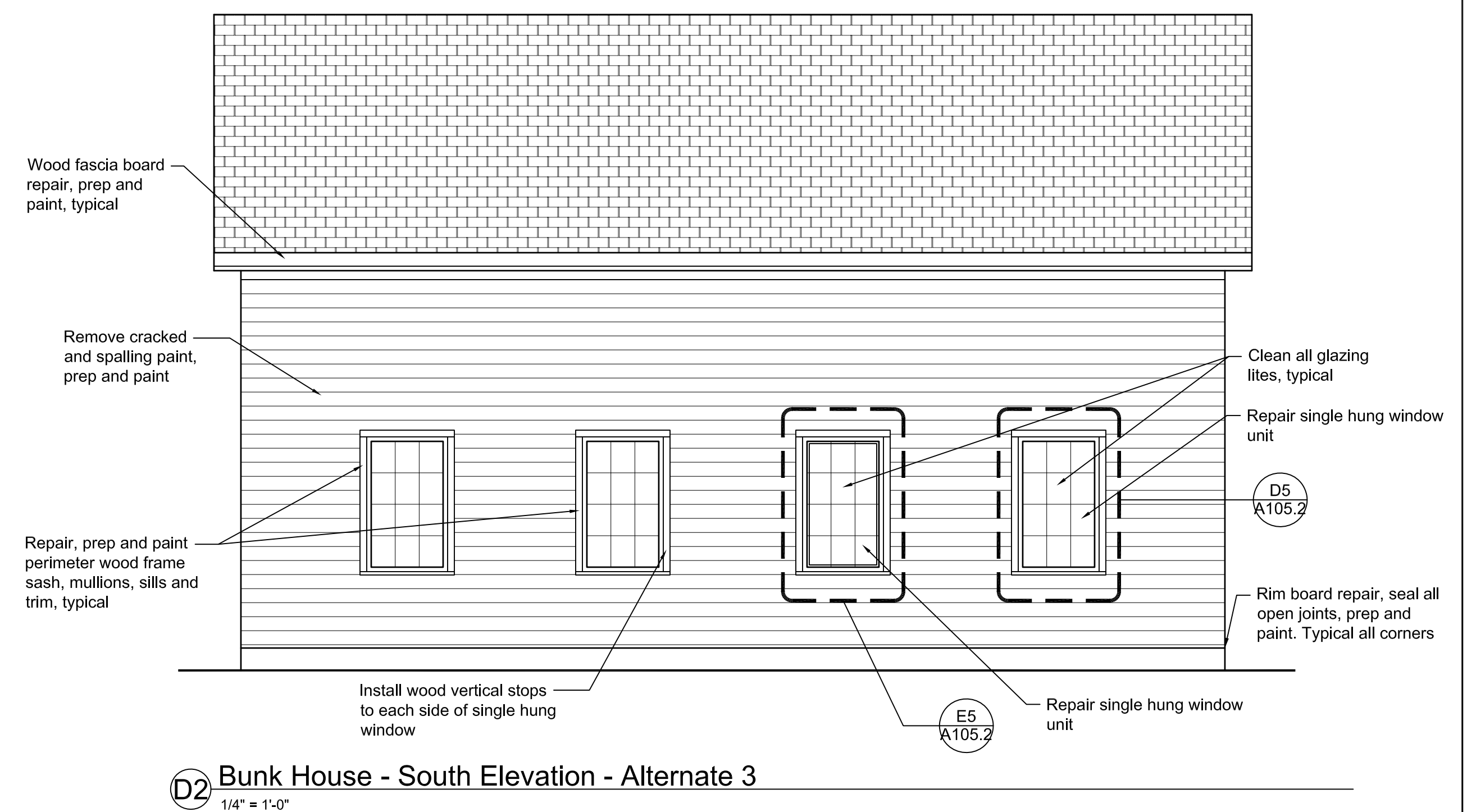
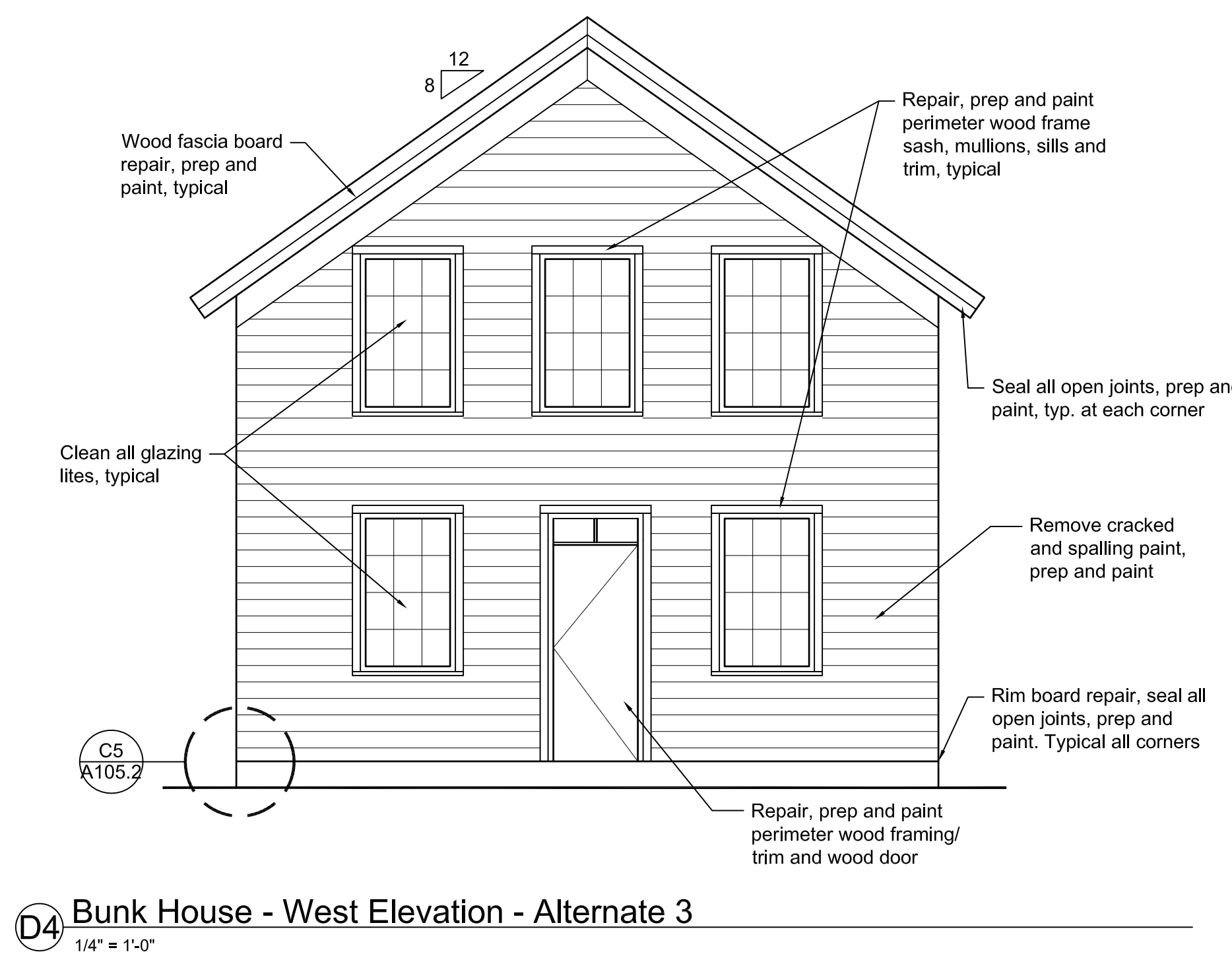
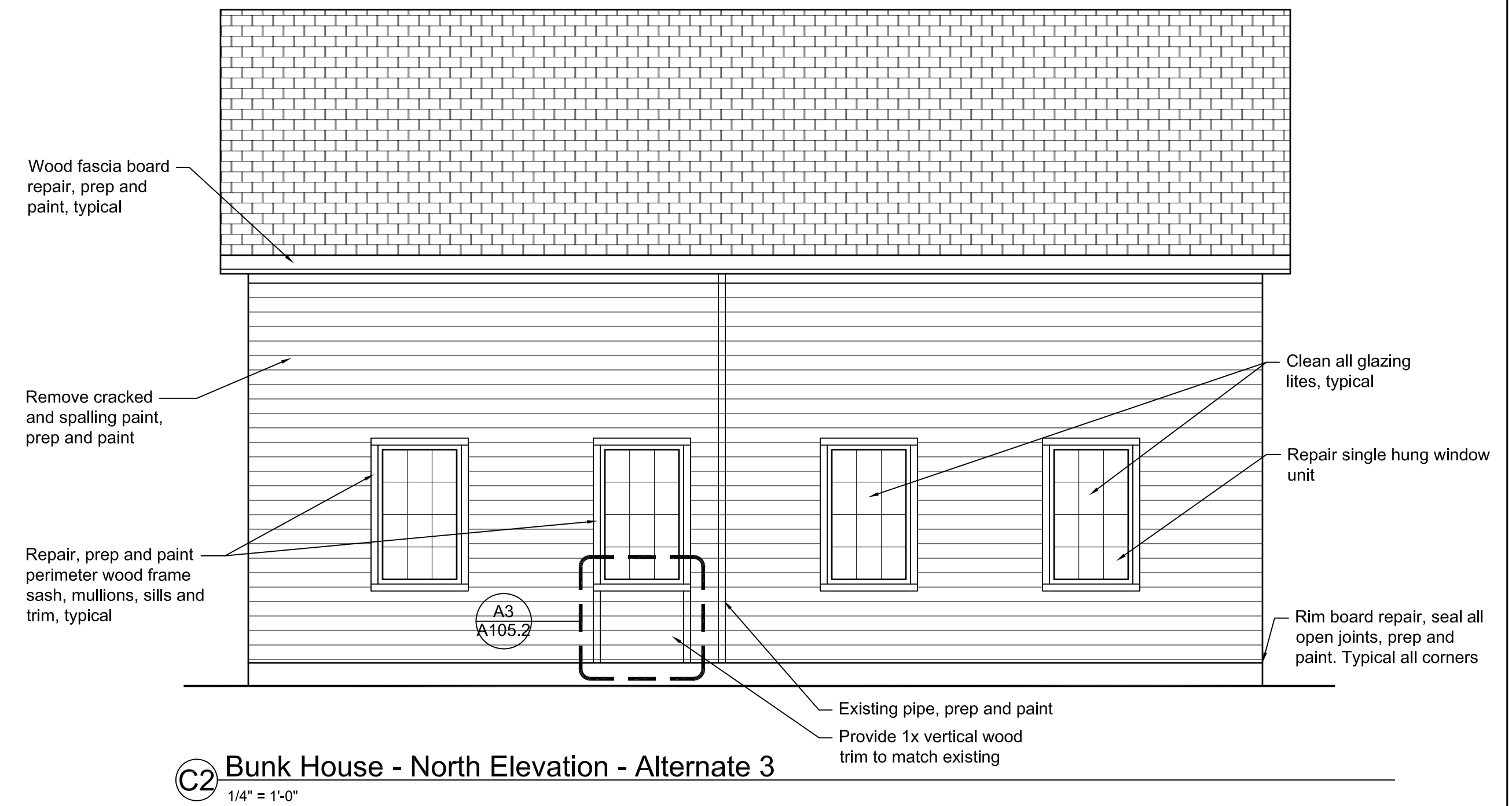
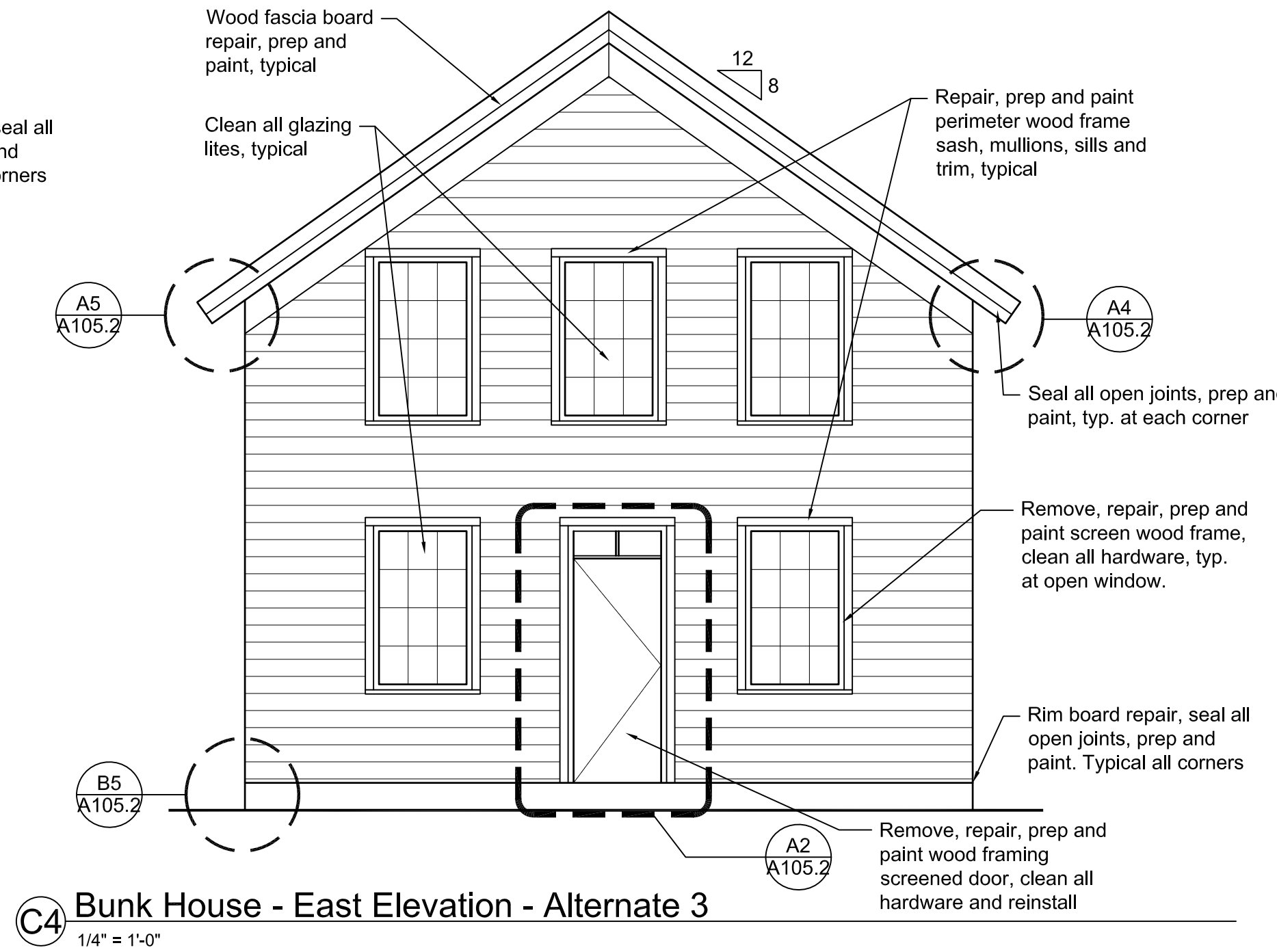
Clean all glazing lites, typ.
Repair single hung window unit

D5 Photo of Existing Condition
N.T.S.



Clean all glazing lites, typ.
Repair single hung window unit

E5 Photo of Existing Condition
N.T.S.



project

**Dangberg Ranch
Exterior Restoration**
1594 Esmeralda Avenue
Minden, Nevada 89423

revisions

no.	description

drawn by **RBR**
reviewed by **MLM**
date **5/18/2022**
project number **19028**
drawing name

**Bunk House
Exterior
Elevations
Alternate 3**

sheet number

A105.2



A3 Garage - Exterior Photo South West Elevation
N. T. S.



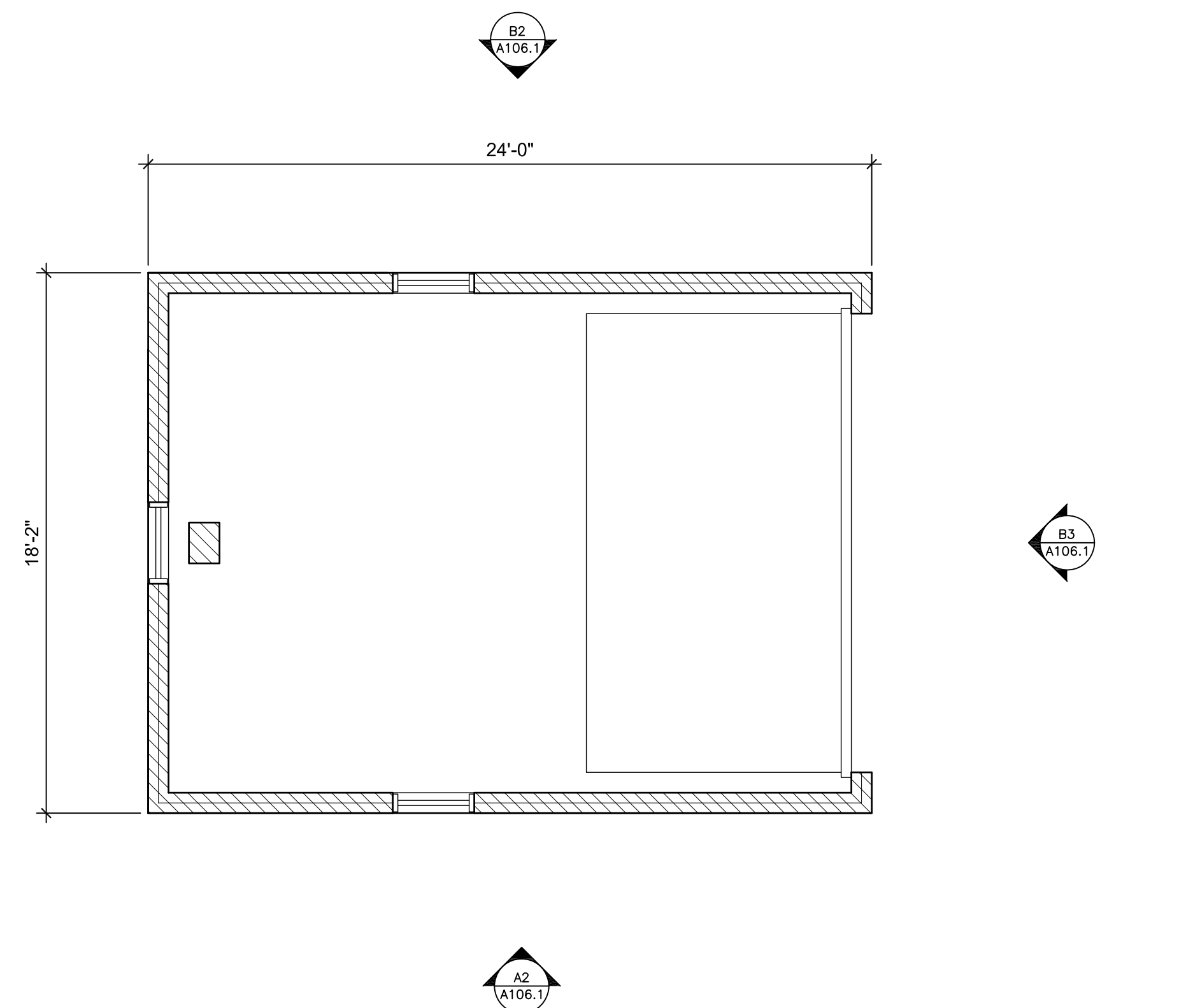
A2 Garage - Exterior Photo South Elevation
N. T. S.



B3 Garage - Exterior Photo East Elevation
N. T. S.



B2 Garage - Exterior Photo North Elevation
N. T. S.



D3 Garage - Floor Plan - Alternate 5
1/4" = 1'-0"

Floor Plan Notes

1. Coordinate construction operations, schedule, and sequencing with Douglas County Community Services Project Manager.
2. The Overall Floor Plan is for reference only and shows the existing conditions. Refer to elevations, and detail drawings for additional information. Report any discrepancies found between the drawings and field conditions to the Architect prior to execution of the work.
3. The Contractor will be responsible for setting the exact limits of construction required in order to perform the work.
4. The Contractor shall maintain a clean environment during all construction operations and activities, and shall conduct a final cleaning of entire area of work at the conclusion of the project.
5. The Contractor shall protect existing vegetation, finishes, and historical features from construction traffic, cutting, and all construction operations and activities.
6. The Contractor will be responsible for repairing any damage to the existing vegetation, finishes, and features due to construction activities related to the Exterior Renovation project.
7. Contractor shall limit work access to areas indicated during approved working hours and shall remove materials, tools, and debris after construction hours.
8. The General Contractor shall have previous experience working with historic fabric and working on buildings listed on the National Register of Historic Places.
9. The General Contractor, General Contractor's project manager, and General Contractor's superintendent shall be familiar with and follow the guidelines and procedures set forth in the Secretary of the Interior's Standards for the Treatment of Historic Properties and the Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings. This document will be used for setting the standards and procedures for all work related to this project.
10. Refer to Project Manual and Specifications for additional information and requirements.
11. See Specification Section 06 30000.01 epoxy repair for deterioration and decay in wooden members for repair work identified on the plans, elevations, photos, details, etc.
12. See roof plans for additional scope of work.

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consultant

project

**Dangberg Ranch
Exterior Restoration**
1594 Esmeralda Avenue
Minden, Nevada 89423

revisions

no.	description

drawn by RBR

reviewed by MLM

date 5/18/2022

project number 19028

drawing name

Garage
Floor Plan,
Exterior Photos
Alternate 5

sheet number

A106.1

Exterior Elevation Notes

1. Refer to Project Manual and specifications for additional information and requirements.
2. See enlarged Exterior Elevations for additional information and requirements for each individual elevation.
3. See sheet A101.1 Dimensioned Floor Plan for plan dimensions related to exterior elevations.
4. All dimensions are approximate. Contractor to field verify all necessary dimensions.
5. Remove all vine growth at each building including, vine plants and vine roots. Restore location of vine removal at the ground to match adjacent landscaping. General Contractor and or sub-contractor to verify extent of vine growth by reviewing the site prior to submitting their bid.

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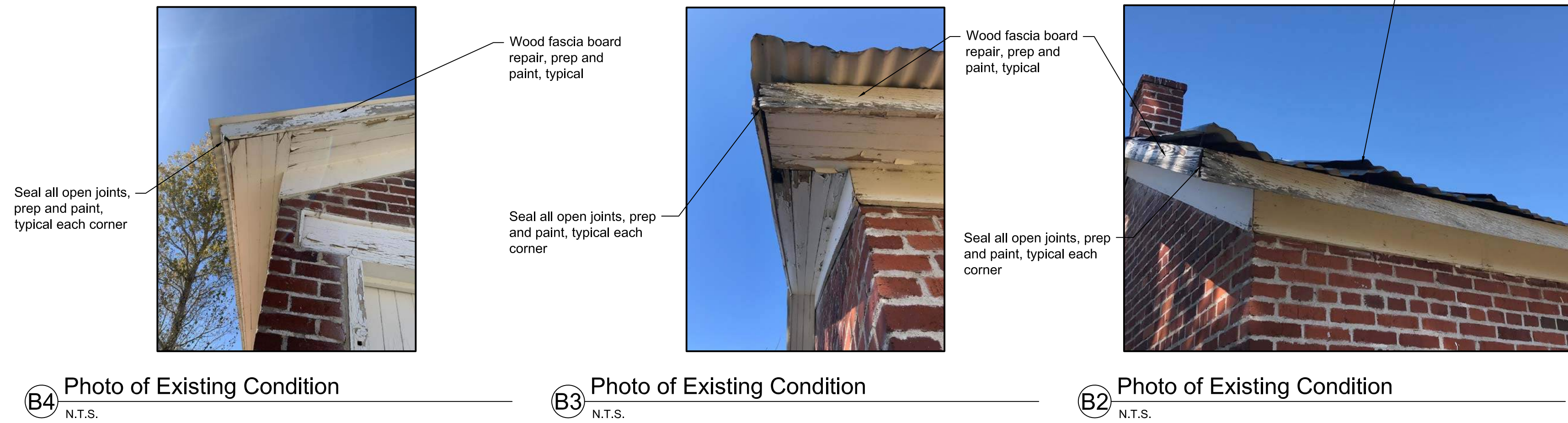
consultant



A1 Photo of Existing Condition
N.T.S.

A3 Photo of Existing Condition
N.T.S.

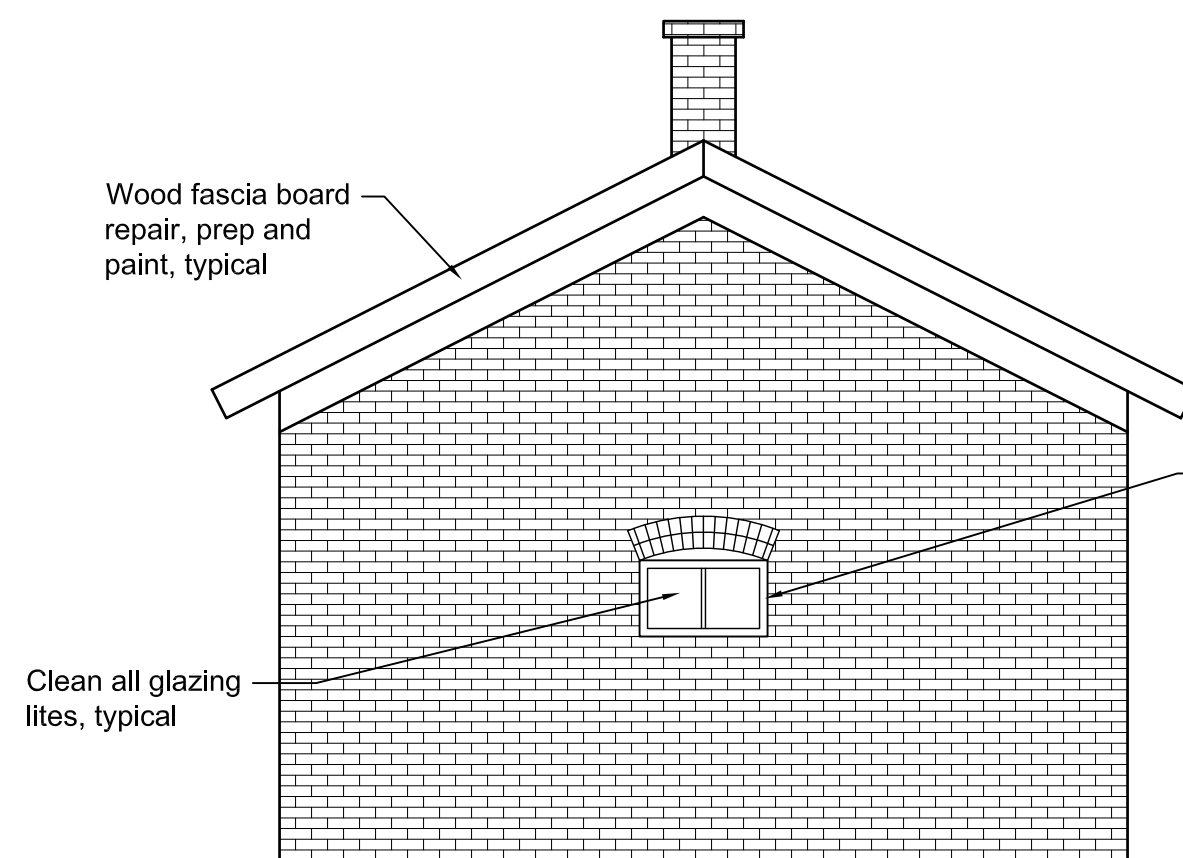
A2 Photo of Existing Condition
N.T.S.



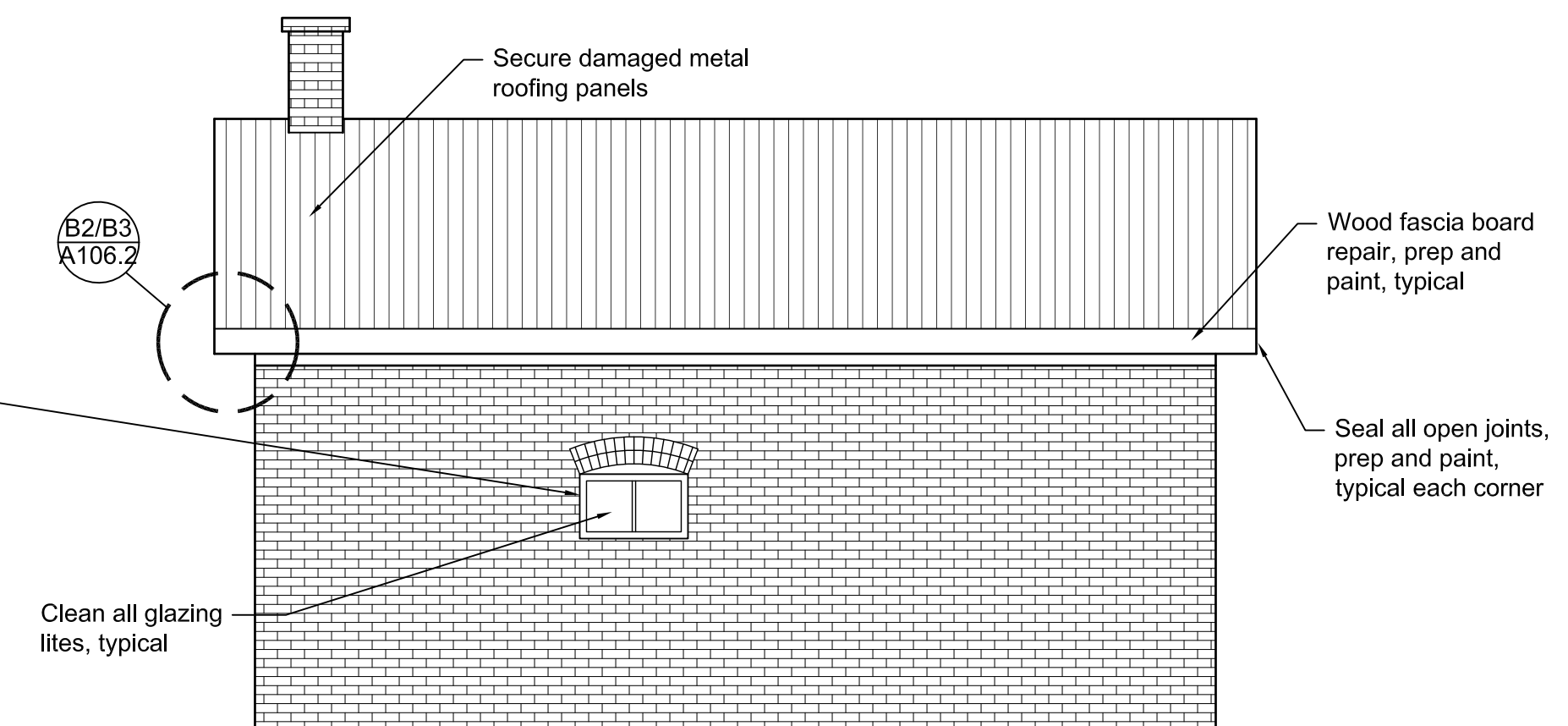
B4 Photo of Existing Condition
N.T.S.

B3 Photo of Existing Condition
N.T.S.

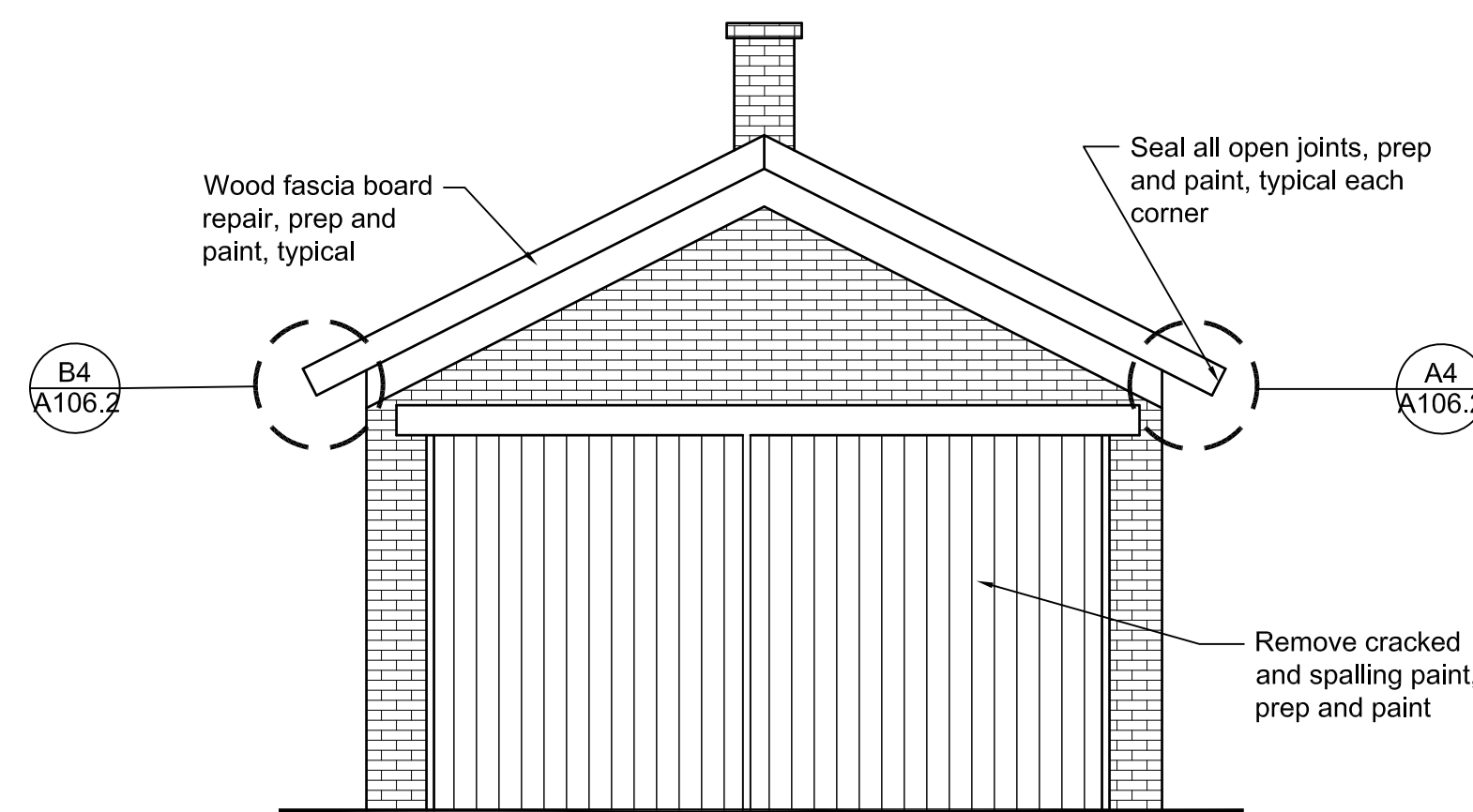
B2 Photo of Existing Condition
N.T.S.



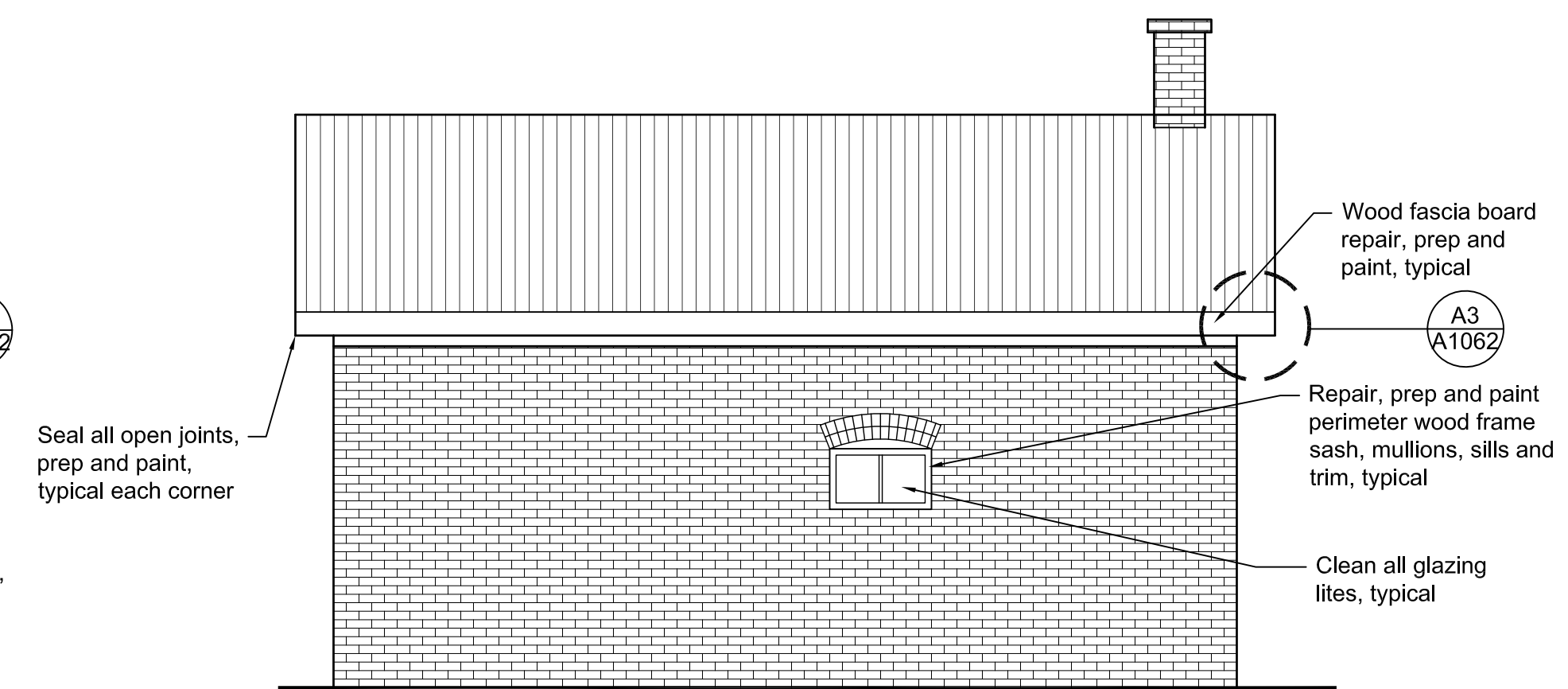
C3 Garage - West Elevation - Alternate 5
1/4" = 1'-0"



C2 Garage - South Elevation - Alternate 5
1/4" = 1'-0"



D3 Garage - East Elevation - Alternate 5
1/4" = 1'-0"



D2 Garage - North Elevation - Alternate 5
1/4" = 1'-0"

project

**Dangberg Ranch
Exterior Restoration**
1594 Esmeralda Avenue
Minden, Nevada 89423

revisions

no.	description

drawn by **RBR**

reviewed by **MLM**

date **5/18/2022**

project number **19028**

drawing name

**Garage
Exterior
Elevations
Alternate 5**

sheet number

A106.2

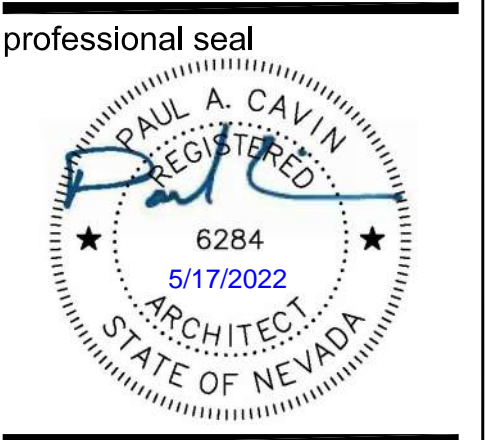
Floor Plan Notes

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2. The Overall Floor Plan is for reference only and shows the existing conditions. Refer to elevations, and detail drawings for additional information. Report any discrepancies found between the drawings and field conditions to the Architect prior to execution of the work.
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10. Refer to Project Manual and Specifications for additional information and requirements.
11. See Specification Section 06 30000.01 epoxy repair for deterioration and decay in wooden members for repair work identified on the plans, elevations, photos, details, etc.
12. See roof plans for additional scope of work.

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B3 Dog House - Exterior Photo East Elevation
N. T. S.



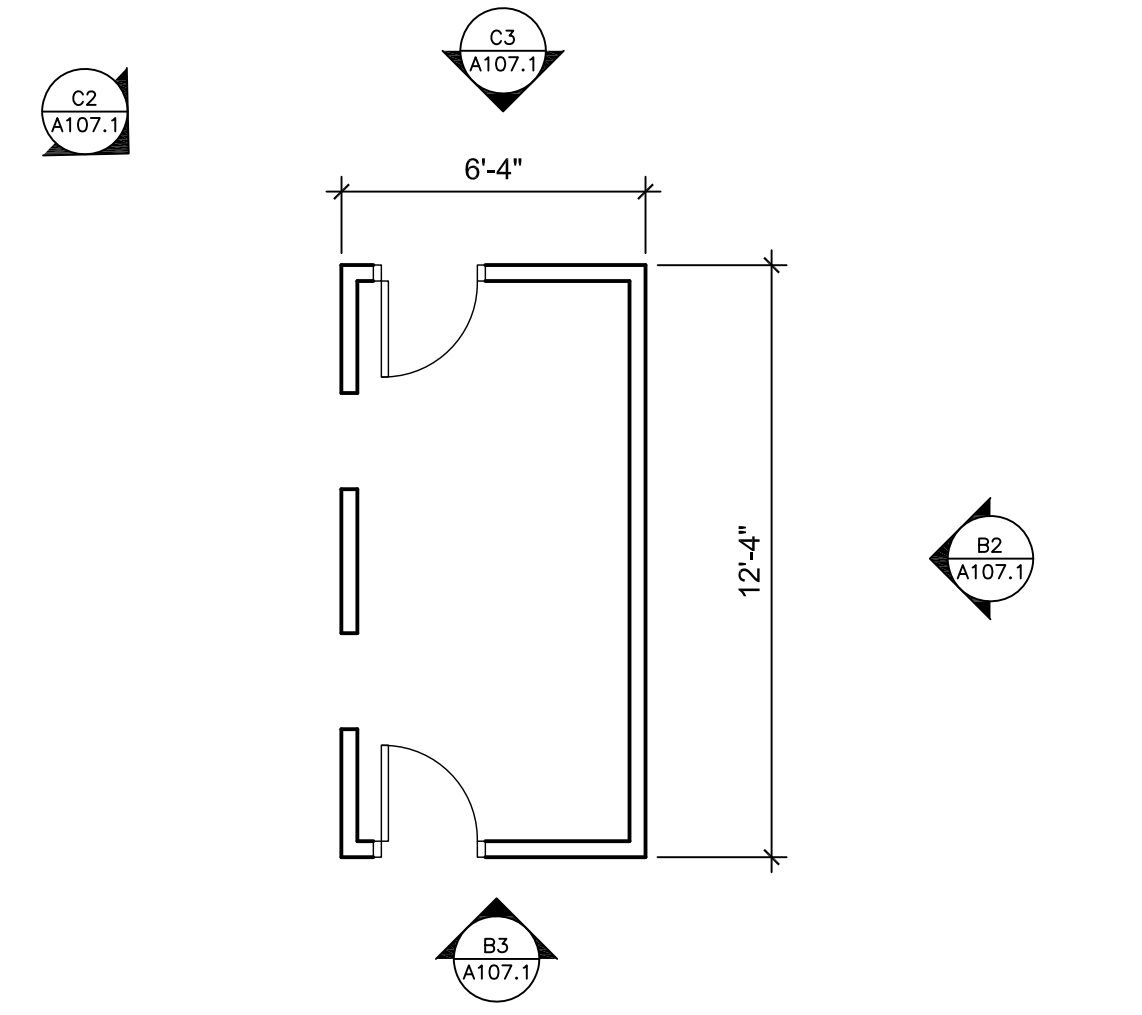
B2 Dog House - Exterior Photo North Elevation
N. T. S.



C3 Dog House - Exterior Photo West Elevation
N. T. S.



C2 Dog House - Exterior Photo South Elevation
N. T. S.



D2 Kennel - Floor Plan - Alternate 6
1/4" = 1'-0" North

project

**Dangberg Ranch
Exterior Restoration**
 1594 Esmeralda Avenue
 Minden, Nevada 89423

revisions

No.	Description	Date

drawn by **RBR**
 reviewed by **MLM**
 date **5/18/2022**
 project number **19028**

drawing name
**Dog House
 Floor Plan,
 Exterior Photos
 Alternate 6**

sheet number
A107.1

Exterior Elevation Notes

1. Refer to Project Manual and specifications for additional information and requirements.
2. See enlarged Exterior Elevations for additional information and requirements for each individual elevation.
3. See sheet A101.1 Dimensioned Floor Plan for plan dimensions related to exterior elevations.
4. All dimensions are approximate, Contractor to field verify all necessary dimensions.
5. Remove all vine growth at each building including, vine plants and vine roots. Restore location of vine removal at the ground to match adjacent landscaping. General Contractor and/or sub-contractor to verify extent of vine growth by reviewing the site prior to submitting their bid.

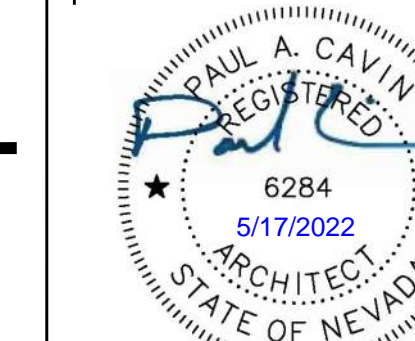
**Paul Cavin
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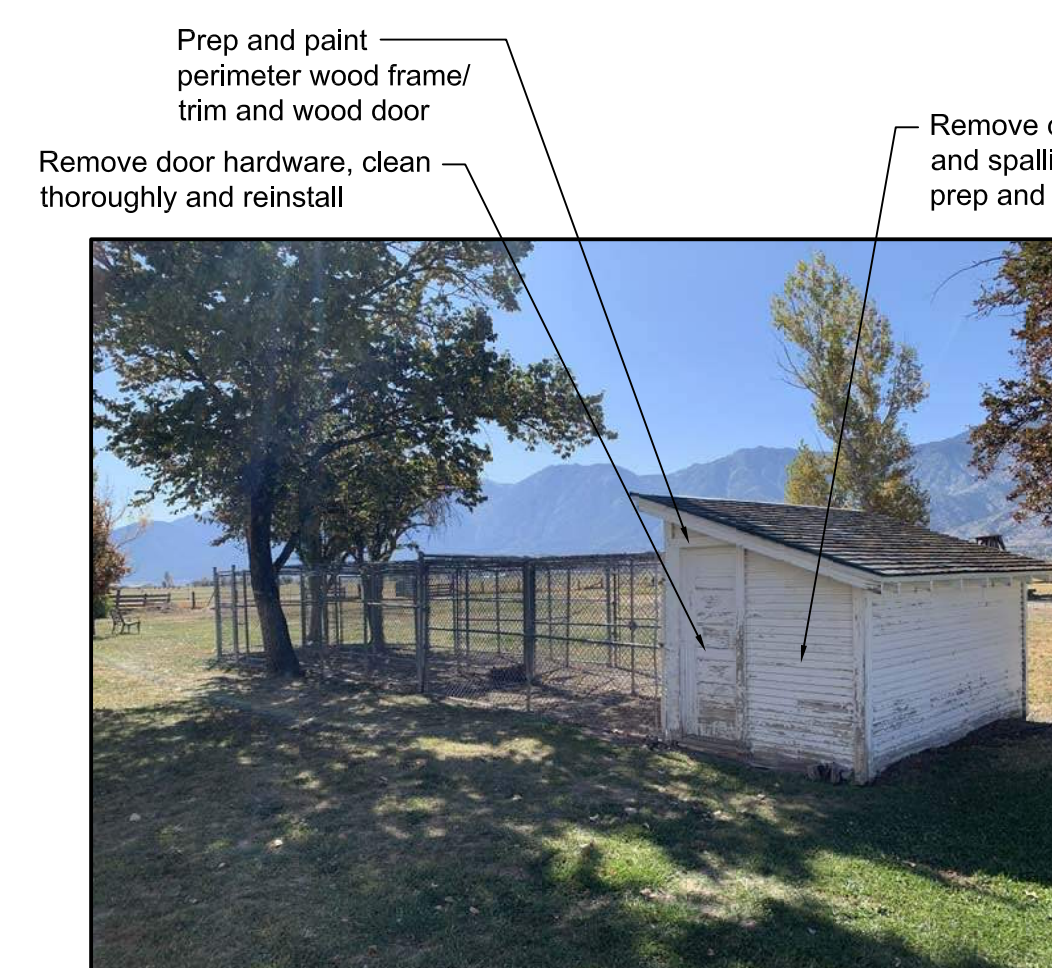
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B5 Photo of Existing Condition
N.T.S.



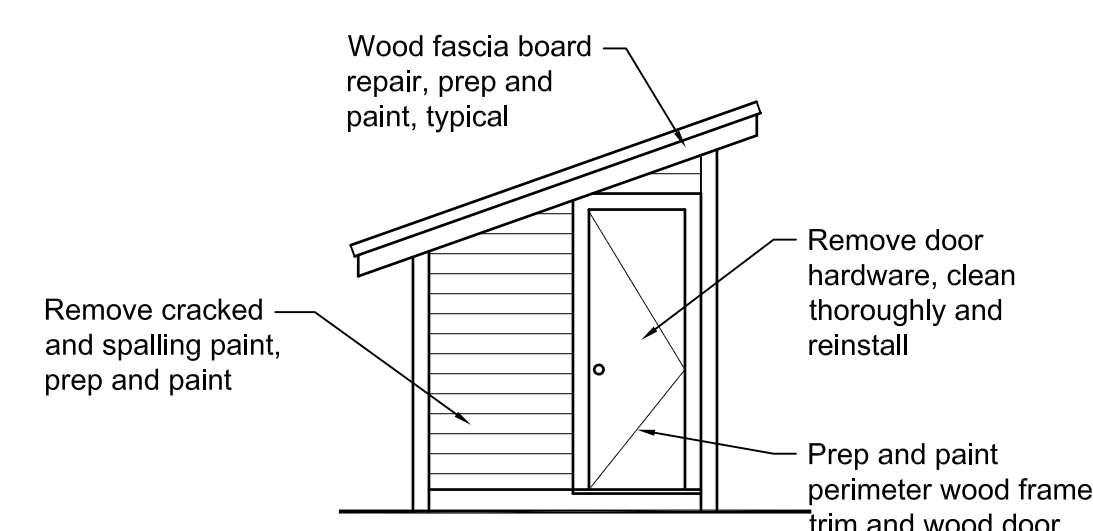
B4 Photo of Existing Condition
N.T.S.



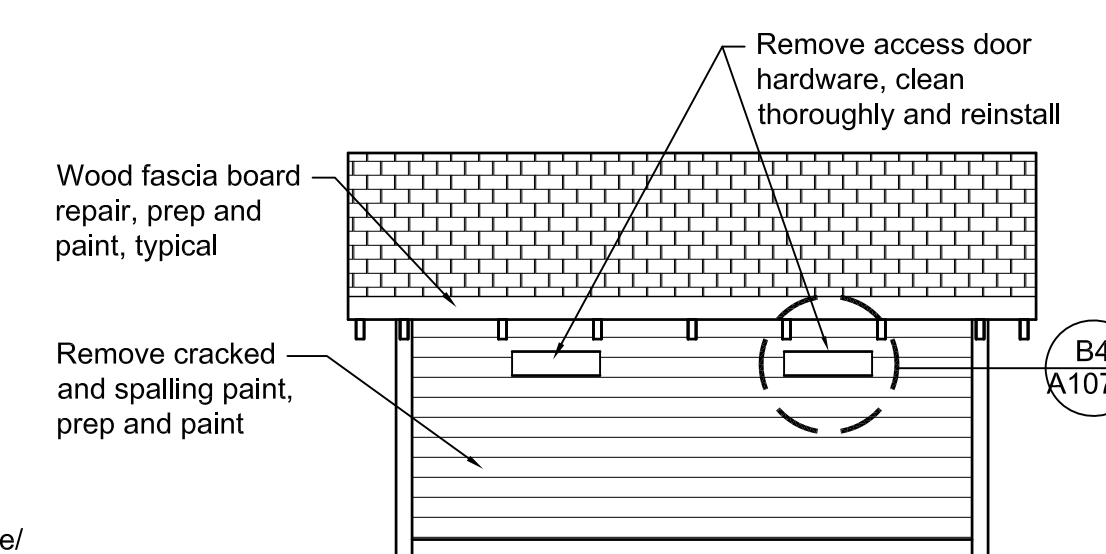
B3 Photo of Existing Condition
N.T.S.



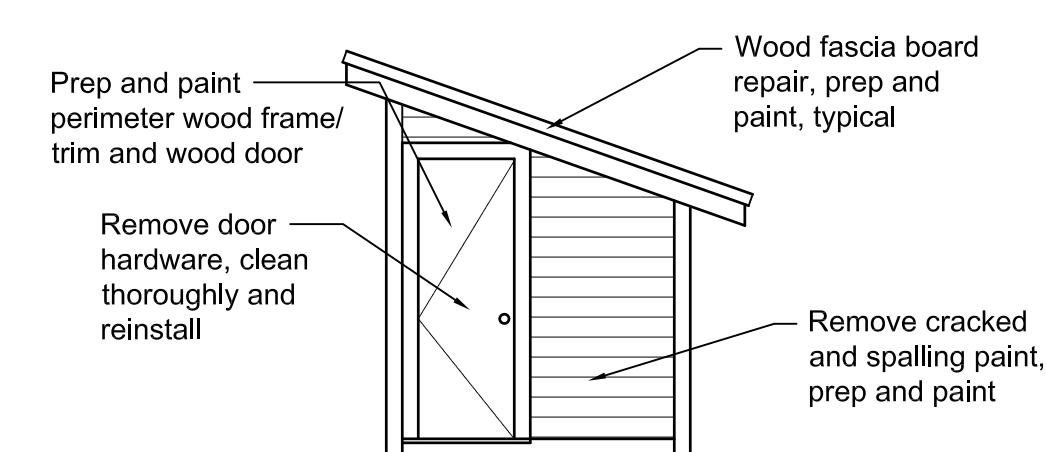
B2 Photo of Existing Condition
N.T.S.



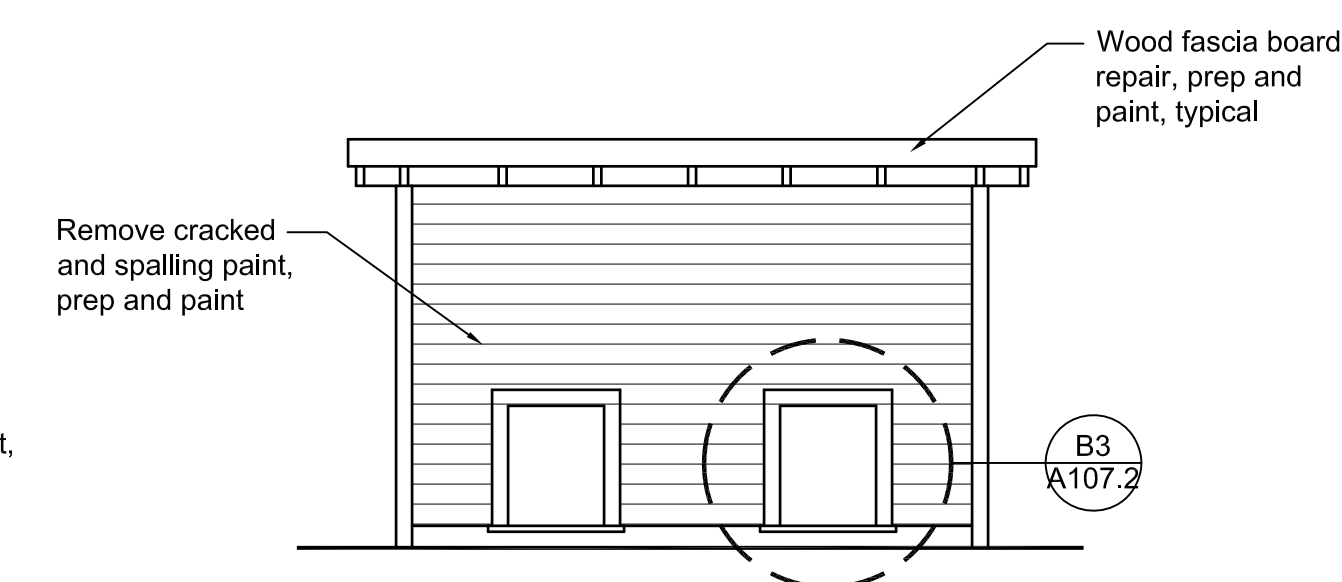
C3 Kennel - West Elevation - Alternate 6
1/4" = 1'-0"



C2 Kennel - North Elevation - Alternate 6
1/4" = 1'-0"



D3 Kennel - East Elevation - Alternate 6
1/4" = 1'-0"



D2 Kennel - South Elevation - Alternate 6
1/4" = 1'-0"

project

**Dangberg Ranch
Exterior Restoration**
1594 Esmeralda Avenue
Minden, Nevada 89423

revisions

no.	description

drawn by RBR

reviewed by MLM

date 5/18/2022

project number 19028

drawing name

**Dog House
Exterior
Elevations
Alternate 6**

sheet number

A107.2

Roof Plan Notes

- Refer to Project Manual and specifications for additional information and requirements.
- The existing roof system is as follows:
 - Cedar shingles over
 - ice and water shield, over
 - plywood sheathing, over
 - wood framing
- In the event that roof work creates a condition where existing interior spaces are open to the weather, the Contractor shall protect the building from the effects of exposure to exterior conditions. The building shall be weather-tight at the conclusion of work each day. At the conclusion of work in a specific area the Contractor is to replace all removed components to a weather-tight condition to match adjacent finishes. In the event that the roof leaks, the contractor shall respond and make the building water tight within 2 hours, at no additional cost to the Owner.
- Protect adjacent surfaces and historical features to remain from damage. Contractor is to repair or replace all finishes and features that are damaged or removed due to the installation or removal of materials, fixtures, accessories, or other items noted on the drawings. Repaired and/or replaced finishes and features shall match adjacent, existing surfaces.
- The General Contractor, General Contractor's project manager, and General Contractor's superintendent shall be familiar with and follow the guidelines and procedures set forth in the Secretary of the Interior's Standards for the Treatment of Historic Properties and the Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings. This document will be used for setting the standards and procedures for all work related to this project.
- The Contractor shall have previous experience working with historic fabric and working on buildings listed on the National Register of Historic Places.
- Care shall be given before, during, and after work to prevent damage to the existing roof system.
- Remove all dirt and debris from existing gutters and downspouts. Remove and re-install downspout filters.
- All dimensions are approximate, Contractor to field verify all necessary dimensions.

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project

**Dangberg Ranch
Exterior Restoration**
1594 Esmeralda Avenue
Minden, Nevada 89423

revisions

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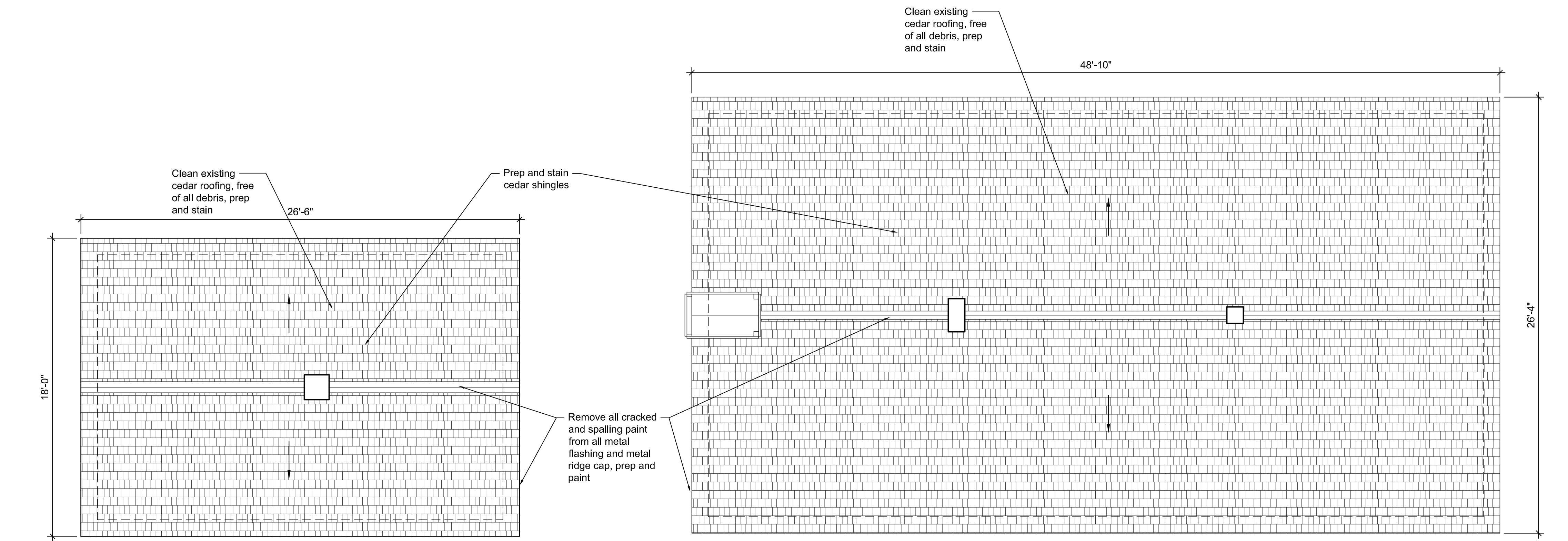
project number 19028

drawing name

Roof Plans

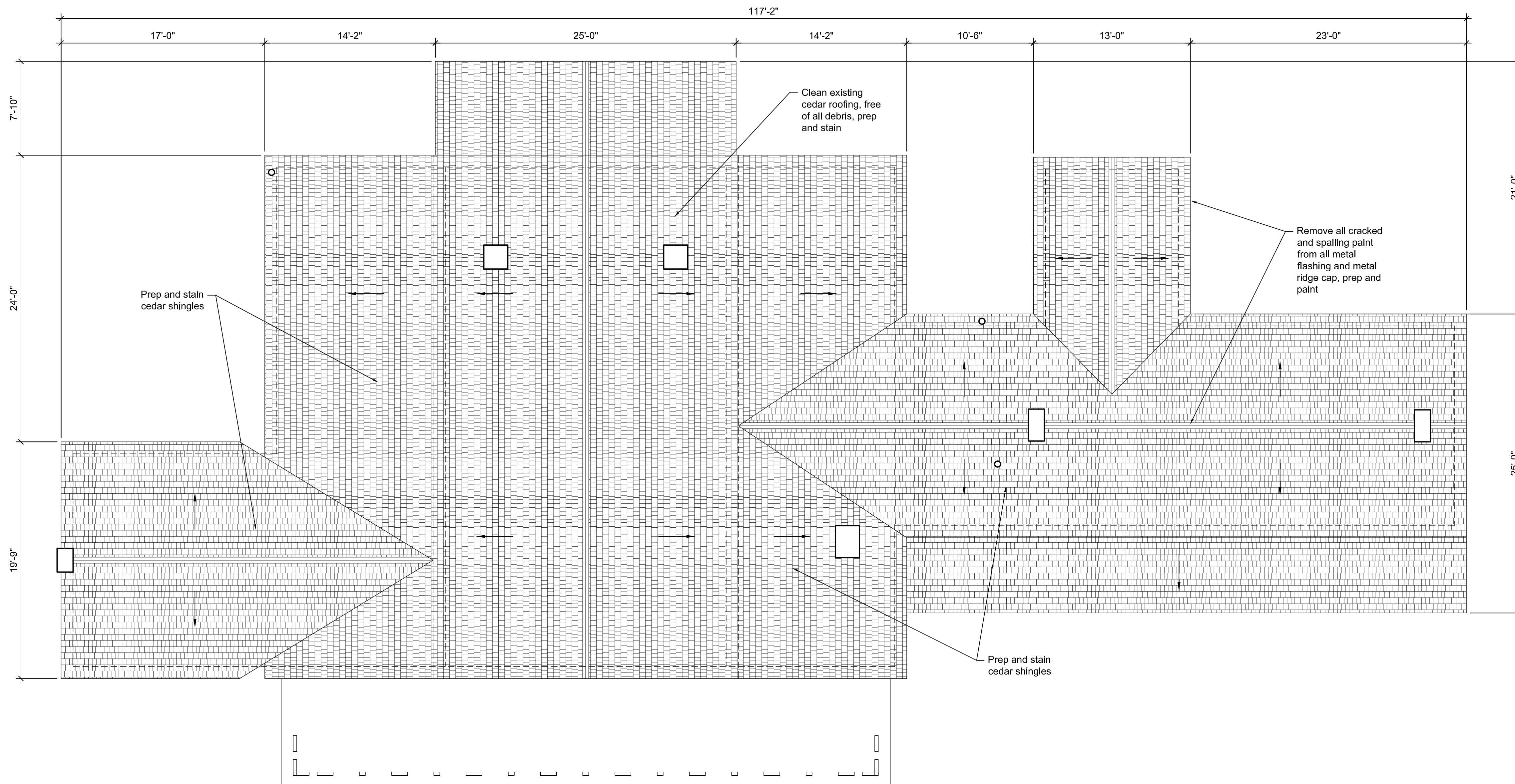
sheet number

A201.1



B5 Laundry House - Roof Plan - Alternate 1
1/4" = 1'-0"

B4 Stone Cellar - Roof Plan - Alternate 1
1/4" = 1'-0"



D5 Main House - Roof Plan - Base Bid
3/16" = 1'-0"

Roof Plan Notes

1. Refer to Project Manual and specifications for additional information and requirements.
2. The existing roof system is as follows:
 - a. Cedar shingles over
 - b. ice and water shield, over
 - c. plywood sheathing, over
 - d. wood framing
3. In the event that roof work creates a condition where existing interior spaces are open to the weather, the Contractor shall protect the building from the effects of exposure to exterior conditions. The building shall be weather-tight at the conclusion of work each day. At the conclusion of work in a specific area the Contractor is to replace all removed components to a weather-tight condition to match adjacent finishes. In the event that the roof leaks, the contractor shall respond and make the building water tight within 2 hours, at no additional cost to the Owner.
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9. All dimensions are approximate, Contractor to field verify all necessary dimensions.

Paul Cavin Architect LLC

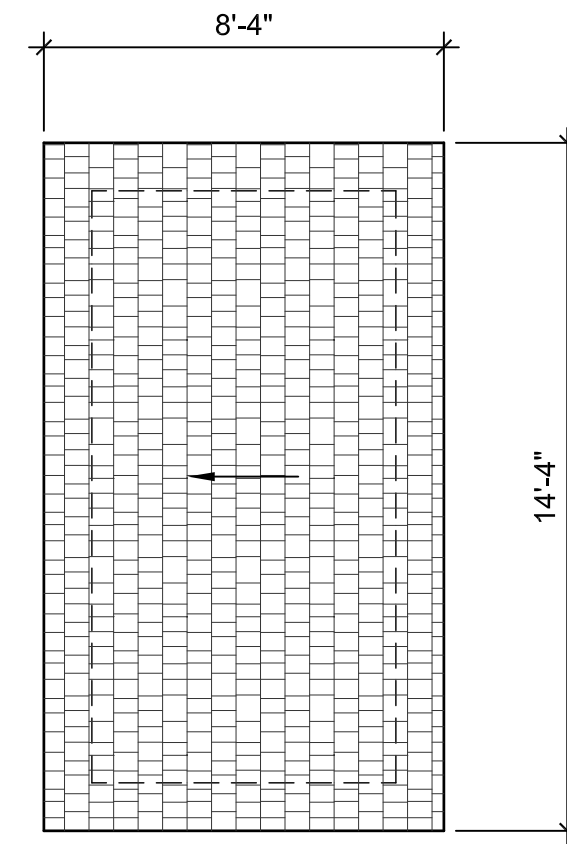
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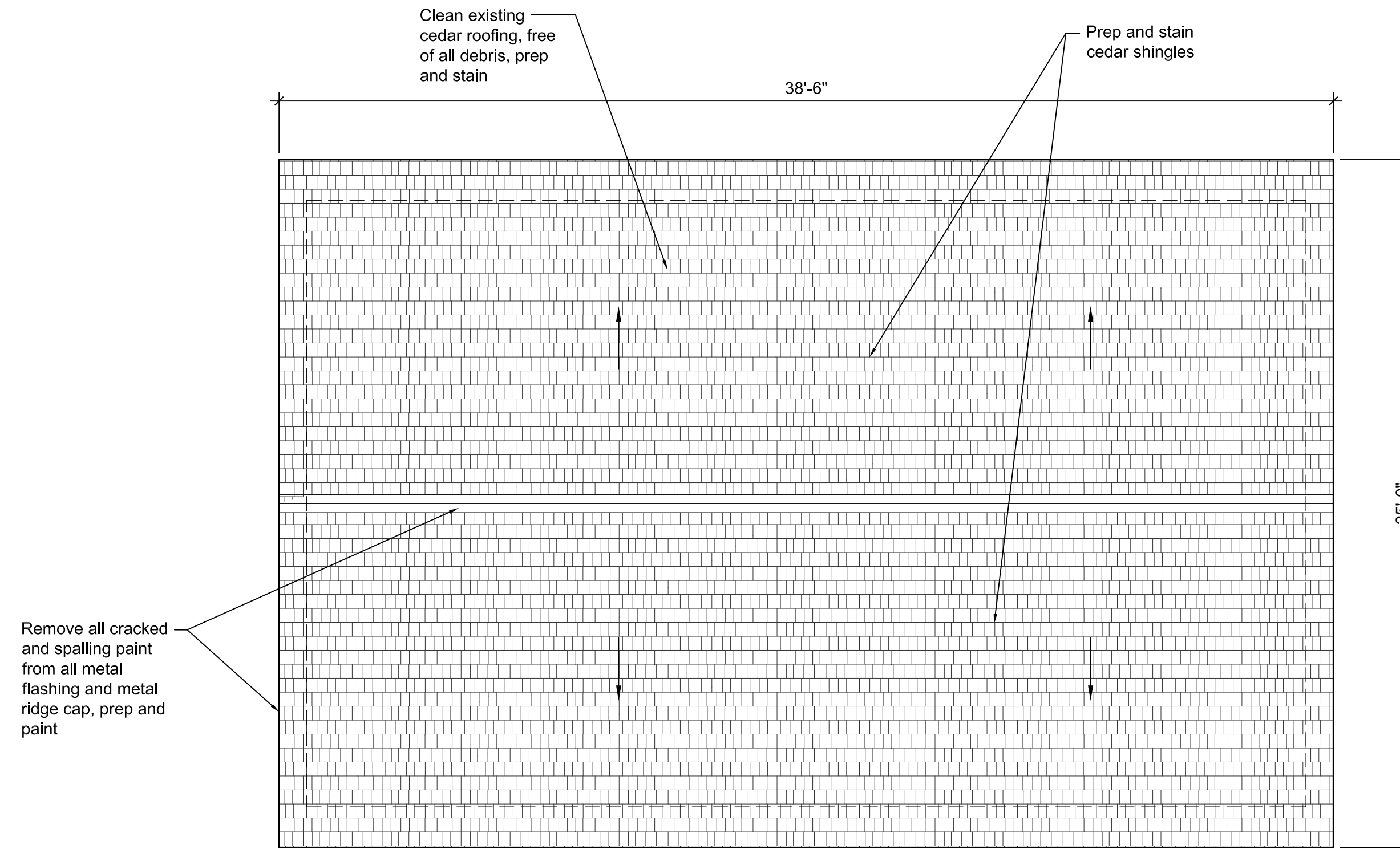
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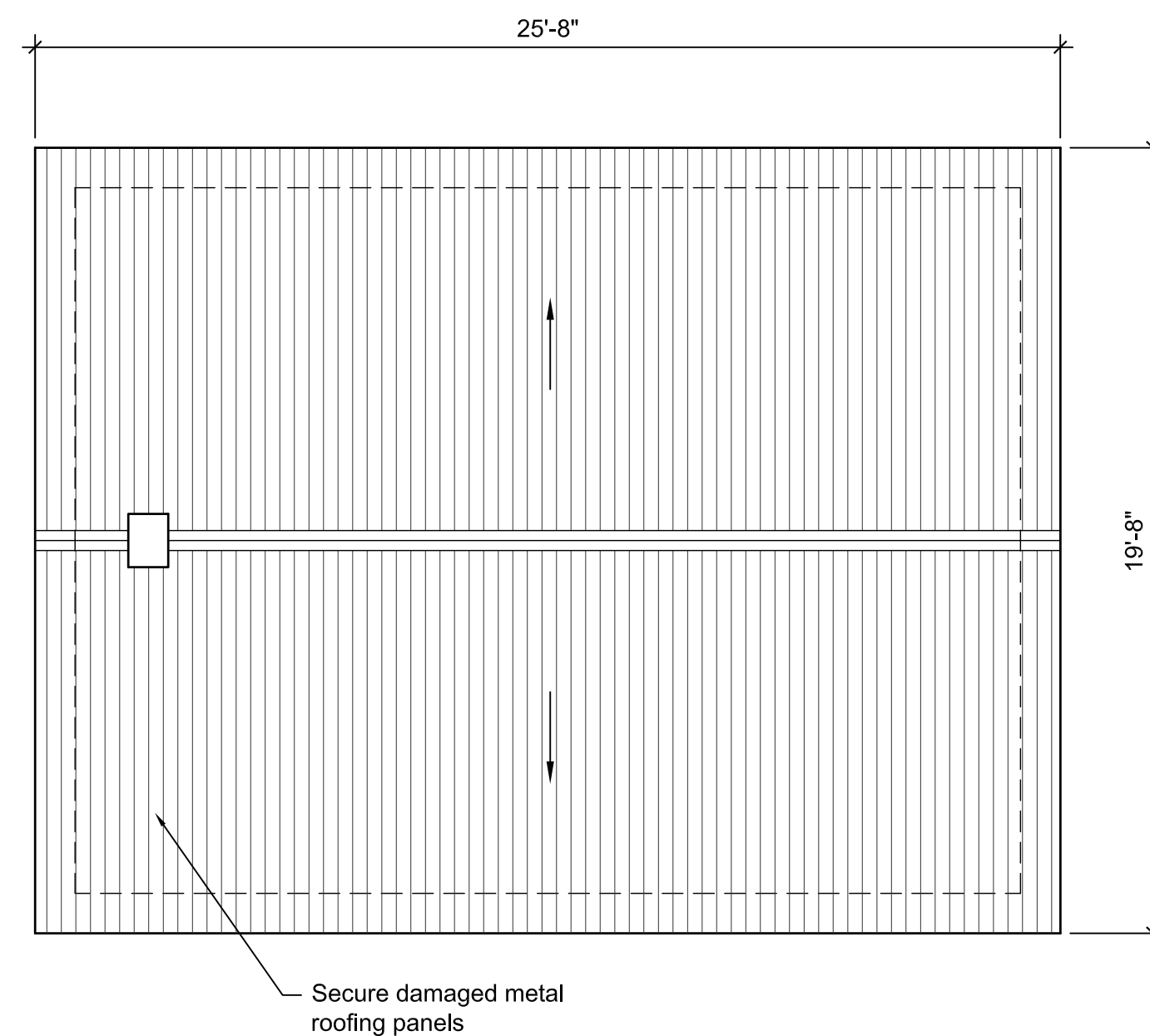
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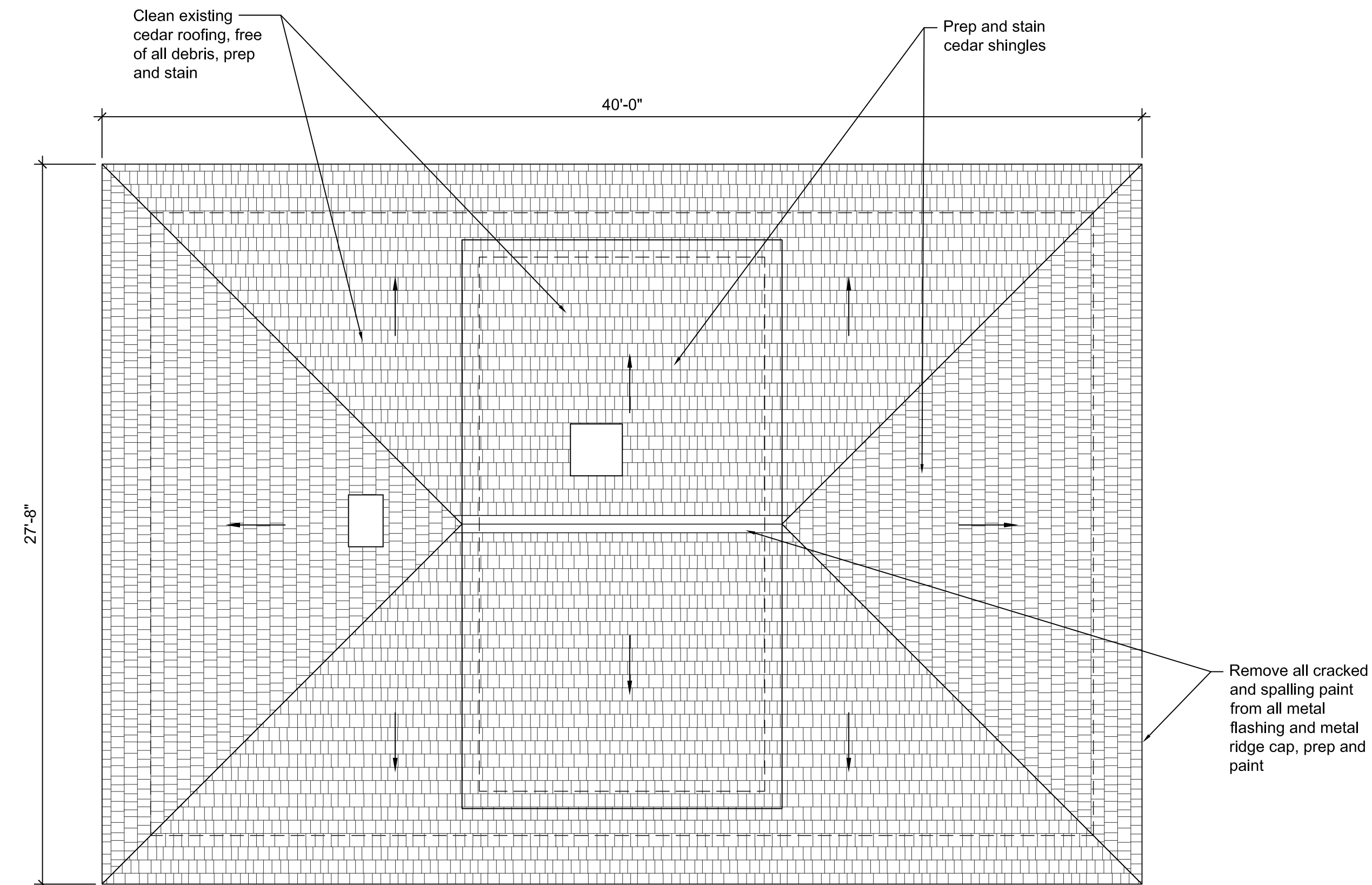
B5 Kennel - Roof Plan - Alternate 1
 1/4" = 1'-0"



B3 Bunk House - Roof Plan - Alternate 1
 1/4" = 1'-0"



D5 Garage - Roof Plan - Alternate 5
 1/4" = 1'-0"



D3 Carriage House - Roof Plan - Alternate 1
 1/4" = 1'-0"

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Roof Plans

sheet number

A201.2